

DESIGN GUIDELINES

April 2024



**POWDER
MOUNTAIN**

ACKNOWLEDGEMENT OF RECEIPT

(I/We) _____ have received a copy of the Powder Mountain Design Guidelines and understand that by purchasing Lot ____ in the _____ District. I / we are purchasing a property that will be subject to these guidelines, which include landscape standards, District requirements and building design guidelines, and that any home or structure built on this property will be expected to be built within these restrictions and will be subject to review and approval by the Powder Mountain Architectural Review Committee, as well as all local governing agencies. I / we understand that Powder Mountain is a multi-phase community, and additional phases may be added, and/or the Design Guidelines may be modified or amended from time to time by the Architectural Review Committee.

Homeowner (Signature): _____

Homeowner (Printed): _____

Date: _____

Homeowner (Signature): _____

Homeowner (Printed): _____

Date: _____

Real Estate Advisor (Signature): _____

Real Estate Advisor (Printed): _____

Date: _____

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SKIERS PASSING RIDGE NEST 13

A.

VISION

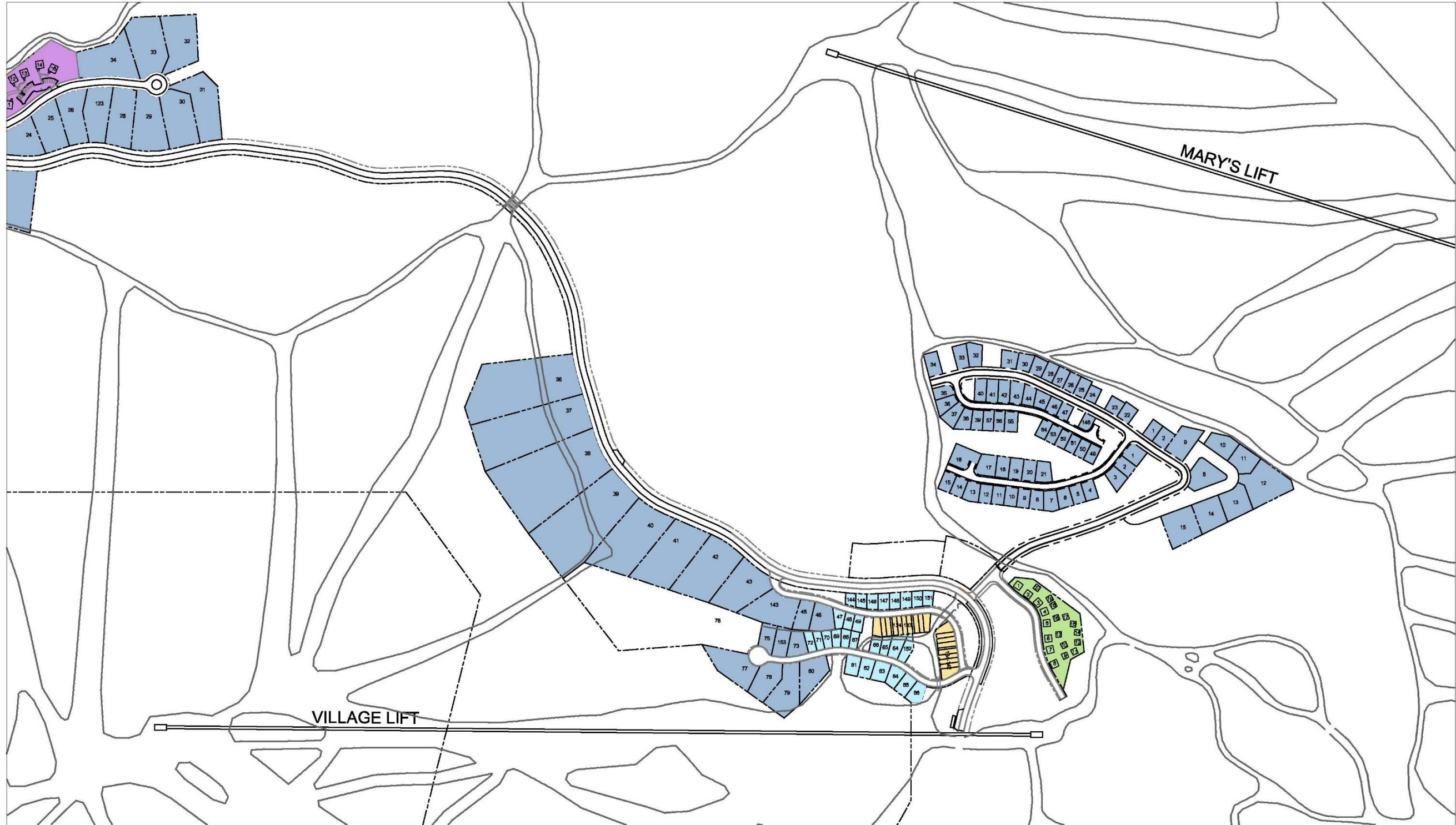


The Powder Mountain community shares a philosophy of innovation, creativity, cultural enrichment, and environmental conservation. At Powder Mountain, these core principles come to life in a “heritage modern” development on ten thousand (10,000) acres of untouched land in the Wasatch Mountains of Northern Utah.

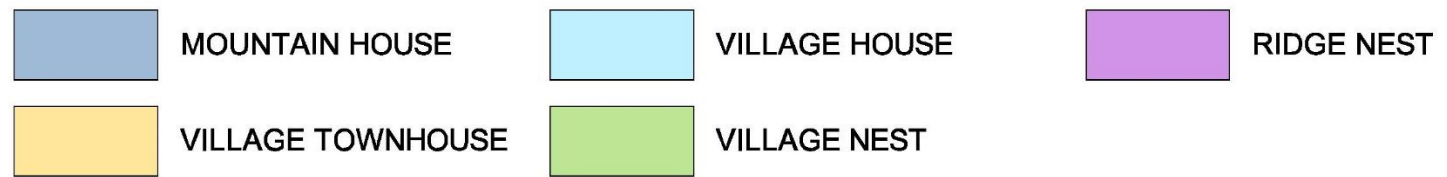
Powder Mountain is designed to support the vibrant live-work-play lifestyle of the community in a unique natural setting of unparalleled beauty. Located high atop a network of ridges, meadows and plateaus with dramatic views of the surrounding mountains and the Salt Lake Basin, the community is planned around a variety of Districts, each with its own, individual character. All Districts are served by conveniently located roadways that also serve the unique and readily accessed “ski-down” system of lifts and trails.

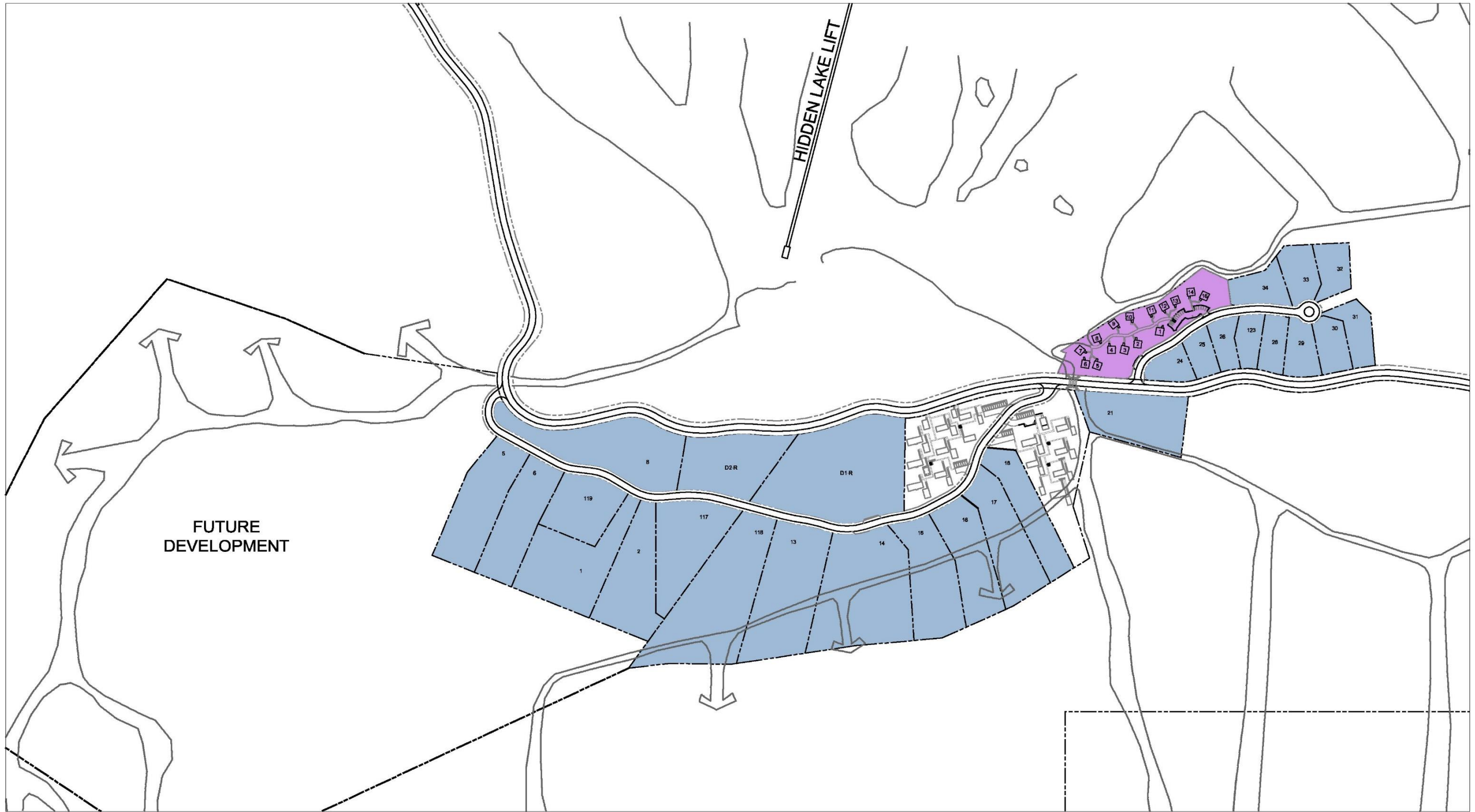
Located at the center of the development, the Village District will be the social epicenter of the community, providing convenient, pedestrian access to in-town amenities such as resident artists’ studios, learning labs, hotels, cafes, restaurants, gathering spaces and condo living. The Village House, Village Townhouse and Village Nest Districts provide the benefits of “in-town” living with a variety of dwelling styles and building typologies. Other Districts such as the Ridge Nest and Mountain House Districts are located away from the Village providing their residents with more open spaces and a closer connection to nature.

Building design at Powder Mountain shall preserve its pristine views and natural beauty while creating a cohesive “heritage modern” aesthetic guided by an ethos that views architecture as subservient to the natural landscape. The “heritage modern” aesthetic recognizes the architectural precedents of the surrounding region while offering an opportunity to develop inventive designs consistent with the forward looking aspirations of the community.

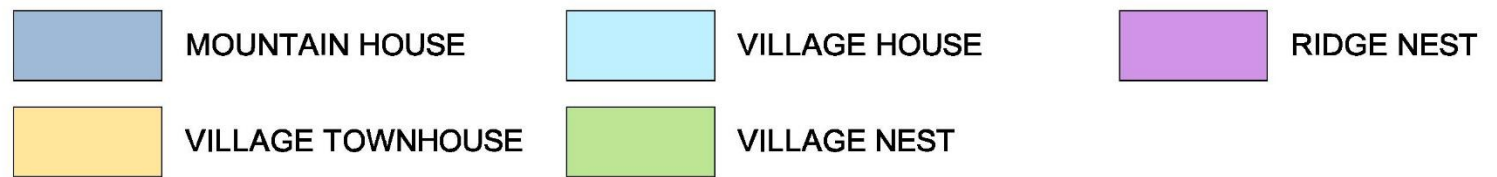


B.
PHASE 1 DISTRICT MAP
 EAST LOTS





B.
PHASE 1 DISTRICT MAP
WEST LOTS



C.

ENVIRONMENTAL STEWARDSHIP



The ecology of Powder Mountain consists of high mountain, mountain, and upland environments ranging in elevation from six thousand nine hundred fourteen (6,914) to nine thousand four hundred twenty-two (9,422) feet. Temperatures range from below zero to freezing during the winter and from fifty (50) to ninety (90) degrees Fahrenheit during the summer, depending upon elevation. Annual precipitation is approximately fifty-eight (58) inches with annual snow accumulation of over five hundred (500) inches. The heavy snowfalls melt slowly over an extended spring season providing water for a carpet of herbaceous ground covers. Groups of sage brush, and aspen groves can be found at higher elevations and stands of lodge pole pine and spruce-fir at lower elevations. The environment supports a wildlife community that includes herds of elk, deer, moose, black bear, beaver, fox, Columbian sharp tailed grouse, porcupine, coyote, and turkey.

Building in this environment requires a high level of care. Heavy snow loads, high seismicity, and variable soil conditions must be considered in the design process along with the thermal demands of the low winter temperatures typical of high mountain environments. The herbaceous ground cover is also fragile and care must be taken to minimize disturbance during construction in order to preserve the continuity and appearance of the natural environment.

Preserving the quality of the environment is a key goal for the community. The high mountain ecosystem is a unique and fragile balance of flora and fauna that can be maintained through sustainable development practices.



HOMESITE 27 BY BICUARDO ARCHITECTS



D.

DESIGN GOALS AND PRINCIPLES

Consistent with our goal of environmental stewardship and the desire to maintain the pristine quality of the landscape and views, the following Design Goals are provided as a framework to guide the architecture of individual dwellings towards a cohesive and minimal presence in the landscape. Taken together, they represent an integrated design approach, taking into consideration the unique qualities of the surrounding mountain environment and balancing sustainability goals with the design goals of individual Owners.

D.1.1 REGIONALLY RESPONSIVE MODERN ARCHITECTURE: HERITAGE MODERN

The architecture on the mountain respects and blends with the unique qualities of the surrounding alpine landscape with its ridges, steep slopes, and encompassing views. Taking inspiration from the traditional barns and utilitarian structures of the region and the minimalist qualities of modern architecture, the “heritage modern” style is an opportunity to engage the landscape in new and exciting ways, blending with the surrounding landscape while framing near and distant views. Large, unbroken windows are encouraged to focus on views, extend spatial relationships, maximize daylight, and enhance passive solar capture. North facing windows are to be minimized for energy efficiency.

D.1.2 BUILDINGS THAT MERGE WITH THE LANDSCAPE

Buildings and structures shall be designed to follow the natural slope of the land as much as possible in order to maintain the continuity and breadth of views from roadways, paths and other structures. Buildings shall be designed to merge with the landscape and should avoid large, unbroken massing and wall surfaces that disturb the natural flow of the topography. As with the massing, roof forms shall be designed to complement the flow of the land and blend with adjacent buildings. Top heavy massing is discouraged.

D.1.3 REDUCED PALLET OF NATURAL BUILDING MATERIALS AND COLORS

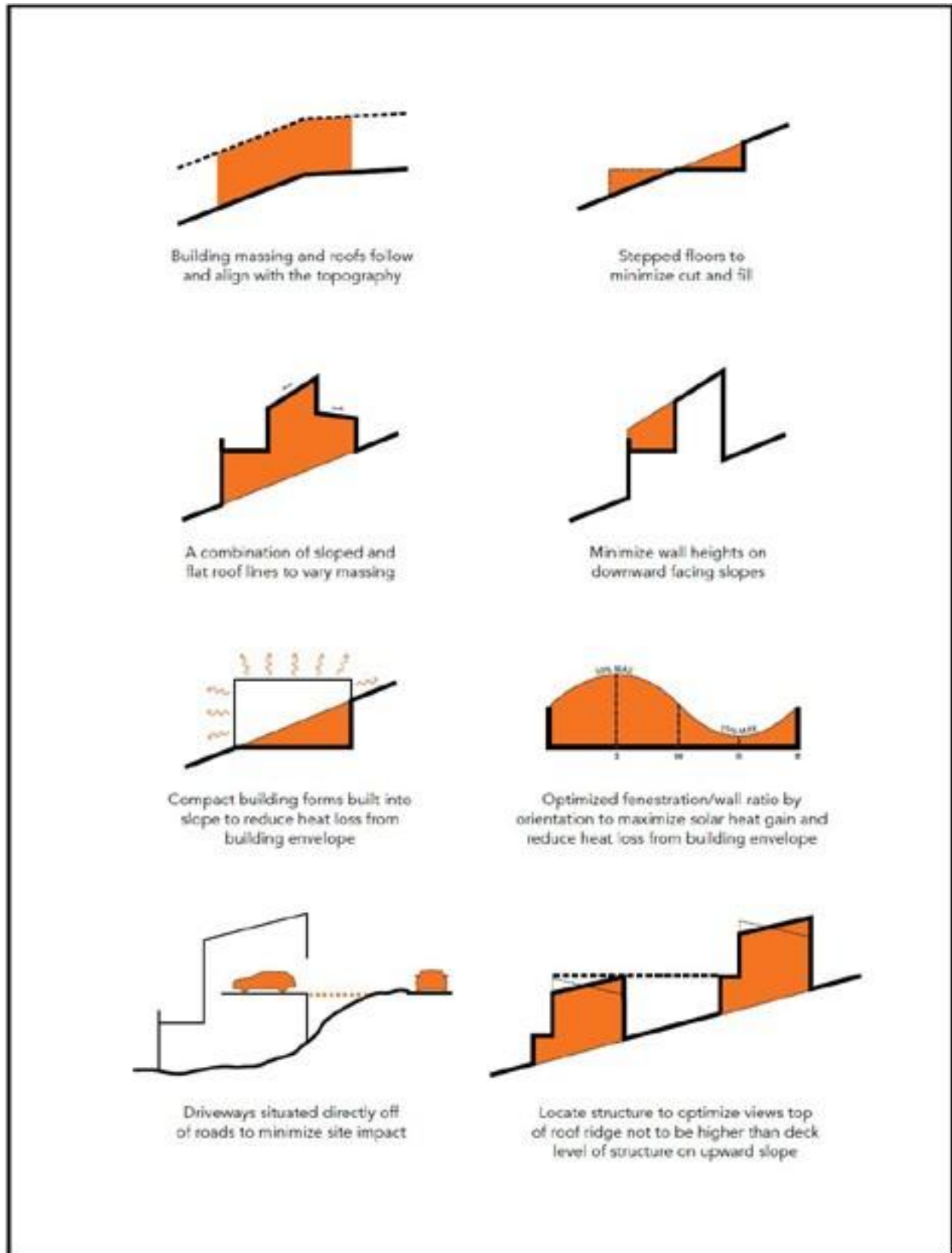
Consistent with the “heritage modern” design approach, the number of building materials used on the exterior shall be kept to a minimum. Materials shall evoke the indigenous functional architecture and shall have natural finishes (translucent stains, weathered wood, weathered steel, copper, zinc, etc.). No reflective materials or surfaces are permitted except glass.

D.1.4 MINIMAL BUILDING FOOTPRINT

Each Lot is provided with a designated Buildable Area which defines the limits within which a structure can be located on the Lot as well as a Maximum Total Building Square Footage (“S.F.”). The two work together to limit the visual and spatial impacts of the building, maintaining an appropriate distance from adjacent structures and ensuring the continuity of the natural landscape. Landscape disturbed during construction is to be restored to its natural condition. Roadways and pathways shall be designed to minimize site disturbance.

The Design Principles shown on the following page show how the Design Goals can be applied to the typical sloped sites found at Powder Mountain. While these are not proscriptive, the principles they embody have informed the Master Guidelines and District Guidelines included in this document.

DESIGN PRINCIPLES



E.

TERMS



DEVELOPMENT STANDARD DEFINITIONS

Above Grade: That portion of a story where more than fifty percent (50%) of the wall area measured from the finished floor to the finished floor level above is above Existing Grade.

Building Area: The area of a dwelling including the Above Grade and Below Grade livable, enclosed areas. Livable area is measured from the inside of walls and does not include unconditioned/unfinished space such as mechanical and storage rooms and also does not include Garage(s), unfinished basements, decks, or on-grade terraces.

Average Building Envelope Slope: The average percent of the slope of the terrain of a given area is calculated as follows: $(0.00229 \times l \times L) / A = S$, where "S" is the average percent of slope, "l" is the contour interval in feet, "L" is the combined length of all contours within the given area in feet, and "A" is the percentage of the given area in acres.

Basement: One or more Stories or levels of a building that are completely or partially below Finished Grade.

Below Grade: That portion of a Story where more than fifty percent (50%) of the wall area measured from the finished floor to the finished floor of the level above is below Existing Grade.

Building Envelope / Buildable Area: The portion of a Lot which is to be utilized as the building site. The Buildable Area cannot contain any easements.

Building Height: The vertical distance from the grade plane to the height of the highest roof surface.

Common Area: A Common Area is the area available for common use by all property Owners (or groups of Owners and their invitees).

District: An area within Powder Mountain defined by a specific building type.

Existing Grade: The ground level adjoining the building at the exterior walls as measured from the survey of the unimproved lot. Existing Grade includes roadway grades adjacent to the lot.

Finished Grade: The ground level adjoining the building at the exterior walls, as measured from the modified elevation of the proposed grading plan.

Garage: An enclosed Structure designed primarily for the storage or shelter of one or more vehicles (including, but not limited to cars, bicycles, boats, scooters, recreational motor vehicles, etc.). A Garage may be attached to, or detached from, the habitable area of a building, subject to the requirements set forth in these Design Guidelines. A Garage with an exterior width of less than twenty feet (20') shall be designated as a single Garage.

Homesite: A Lot or plot of land used for a dwelling.

Land Use Code: The Land Use Code of Weber County, Utah, as may be amended from time to time.

Limited Common Area: A Limited Common Area is a portion of the Common Area for the exclusive

use of one (1) or more, but fewer than all, of the Owners and their respective invitees.

Lot: A parcel of land capable of being occupied by an allowed use, building or group of buildings (main or accessory), together with such yards, open spaces, parking spaces and other areas required by the Land Use Code. Except for group dwellings no more than one dwelling structure shall occupy any one lot.

Lot Line: A line dividing one Lot from another, or from a street or any public place.

Maximum Total Building Sq/Ft: The enclosed area of a dwelling, including above and below Finished Grade that is conditioned and suitable for year-round use, with floors and ceilings that are similar to the rest of the building. The Maximum Total Building Sq/Ft is measured from the interior finished surface of the walls.

Maximum Building Footprint: The footprint is defined by the total area of the building measured to the exterior of the building walls as projected to Existing Grade.

Maximum Building Height: The measurement from any point around a building at the Existing Grade or Finished Grade, (whichever is more restrictive) to the ridge of the highest sloping roof.

Occupiable: Habitable or occupiable portions of lofts, mezzanines, and sloped ceiling areas, as dictated by design, shall be those areas which have a minimum ceiling height of seven feet (7') and includes all adjacent areas with a minimum ceiling height of five feet (5'). Habitable portions of lofts, mezzanines, and sloped ceiling areas shall also contain an area of at least thirty-five (35) square feet with a minimum of seven feet (7') ceiling height. Any portion of lofts, mezzanines, or sloped ceiling areas which do not comply with the parameters set forth herein shall be deemed not Occupiable.

Owner: The fee simple owner of a Homesite, Lot or Private Lot within Powder Mountain.

Private Lot: Any real property designated as a residential Lot on a subdivision plat which is conveyed to an Owner by means of a deed, together with all improvements from time to time constructed thereon.

Setback Line: The required minimum distance between the Lot Line and Buildable Area.

Significant Vegetation: Vegetation that is important for its aesthetic value or its beneficial effect on the amenity of the locality in which it is situated, the maintenance of which is necessary to maintain the appearance of a place or a view.

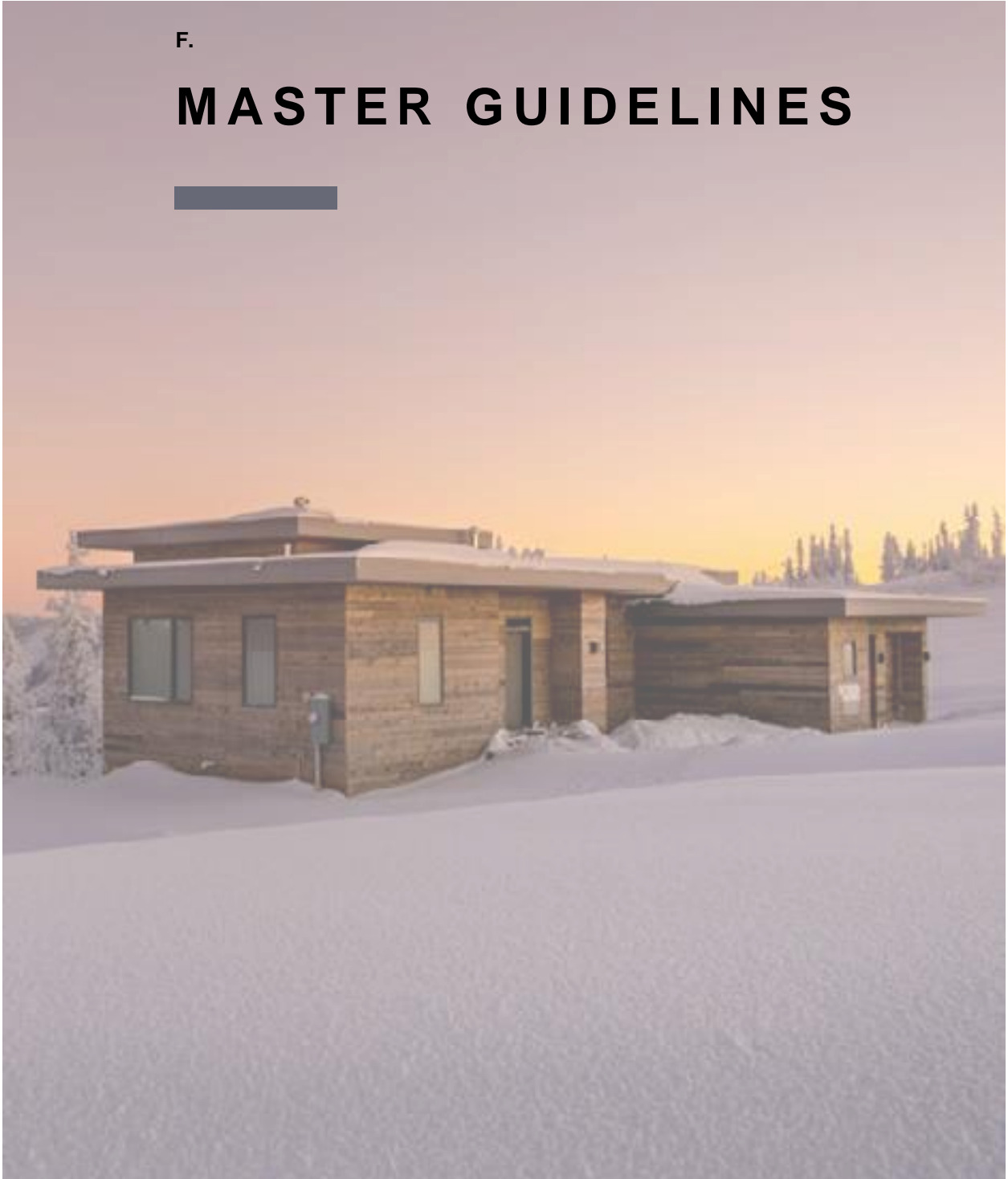
Story: A habitable portion of a building included between the upper surface of a floor and upper surface of a floor or roof above.

Structure: Anything constructed or erected, the use of which requires location on the ground or attachment to something having location on the ground.

Trail System Easement: An easement across lots and parcels excluding building envelopes for constructing and maintaining a trail system.

F.

MASTER GUIDELINES



OVERVIEW

F.1 DEVELOPMENT STANDARDS

F.1.1 Protection of Significant Vegetation

- i. Significant Vegetation must be protected during construction.
- ii. Site plans must show all Significant Vegetation within twenty feet (20') of proposed construction areas.
- iii. Site design will incorporate native vegetation and limit disturbance to the natural conditions of the site. Conform to ANSI A300 Part 5; Management of Trees and Shrubs During Site Planning, Site Development and Construction.

F.1.2 Setbacks

- i. The Setbacks are coincident with the Weber County DRR-1 Zoning Ordinance unless further restricted, as may be shown on the recorded subdivision plat, or other recorded instrument.
- ii. Retaining walls and other site improvements must be within the Buildable Area with the exception of driveways connecting to roads. Such improvements will be reviewed on an individual basis.
- i. Belt courses, sills, and lintels may project eighteen inches (18") into required setbacks. Cornices, eaves, and gutters may extend three feet (3') into a required front yard setback, five feet (5') into a required rear yard setback, and two feet (2') into a required side yard setback. Outside stairways, fire escapes, flues, chimneys, and fireplace structures not wider than eight feet (8') measured along the wall of a building may project not more than five feet (5') into a required front yard setback, ten feet (10') into a required rear yard setback, and three feet (3') into a required side yard setback. Unwalled porches, including roof-covered patios, terraces, and balconies, may project five feet (5') into a required front yard setback. Where a required rear yard setback is thirty feet (30') or greater, a projection of ten feet (10') into the rear yard setback is allowed. Where the required rear yard setback is less than thirty feet (30'), a five foot (5') projection into the rear yard setback is allowed. Cantilevers may project no more than two feet (2') into the required front and rear setback. Cantilevers are not allowed in the required side yard setback. The setbacks set forth above may be further clarified by the District Guidelines.

F.1.3 Applicable Law

- i. All construction and development activities within Powder Mountain must comply with applicable law, rules, regulations, ordinances, and requirements of any governmental, quasi-governmental, or professional authority.

F.2 ARCHITECTURAL CONSIDERATIONS

F.2.1 Roofs

- i. Roof forms should conform to a heritage modern character, providing variety in the building form and responding to the slope of the land.
- ii. Low sloped or flat roofs visible from nearby roadways shall be covered with non-reflective, natural metals such as copper or zinc, or wood decking material (or any combination of the above).
- iii. Sloped Roofs to have a minimum slope of 2:12 and a maximum slope of 6:12.
- iv. Roof-installed equipment and appurtenances are required to be screened with materials consistent with building.

F.2.1.1 Building Height and Number of Stories

- i. There is a five foot (5') exception on Maximum Building Height for an elevator penthouse, chimneys, mechanical equipment screens and stair/roof access enclosures; provided, however, such exception(s) may not, in the aggregate, constitute more than five percent (5%) of the overall

building footprint. The specific location of these elements shall be reviewed to ensure that they do not interfere with the views from uphill units.

- ii. A dwelling cannot be more than three (3) Stories with no more than two (2) Stories that are completely above the Finished Grade. If the structure has three (3) Stories (with the Basement included as a Story), one of the Stories must have no more than fifty percent (50%) of its exterior wall surface area exposed.
- iii. Windows and other articulations that create the impression of an additional Story are not permitted.

F.2.2 Walls

- i. Continuous, unarticulated walls are strongly discouraged. Wall surfaces shall be broken up with stepped back or stepped forward terraces, volumetric cut-outs, projecting volumes or bays to reduce their presence in the surrounding landscape.
- ii. The maximum continuous height of a wall on the downward slope face is no more than two (2) Stories or twenty feet (20') whichever is less.

F.2.3 Decks

- i. Railings on balconies, decks, stairs, and porches shall be made of materials consistent with the building. Railing materials (with the exception of glass) shall be non-reflective.

F.2.4 Basements

- i. Basements are permitted.

F.2.5 Gutters, Downspouts and Snow Management

- i. Gutters and downspouts shall be visually minimized, and any exposed downspouts shall be located where they integrate with vertical building elements and exterior color palette. Downspouts must be combined with site drainage design.
- ii. Snow shedding from roofs must be taken into consideration, and coordinated with neighbors to avoid shedding onto neighboring property or structures. Snow guards are required when over any walkable or drivable surface.
- iii. Consider snow-melt systems in vulnerable areas such as along sliding glass doors and exposed building entries.

F.2.6 Building Materials and Colors

- i. Approved wall materials include: dark stained wood recycled barn wood, rusted metal, grey metal (zinc), copper or painted metal.
- ii. Concrete may be used as a foundation and/or wall material as a complement to wood cladding, metal, or window walls. Concrete shall be colored and/or textured (e.g. natural board formed) to provide sufficient texture and warmth to the material composition.
- iii. Sloped Roofs: rusted metal, grey metal (zinc), copper or painted metal.
- iv. Trim and Downspouts shall be copper, zinc, galvanized steel or painted metal.
- v. Windows to be dark painted aluminum or steel, dark stained wood, metal clad wood, or as otherwise approved by the ARC.
- vi. Materials to conform to the **UTAH WILDLAND URBAN INTERFACE CODE**.
- vii. Field and accent colors, stains, and paints are to create the appearance of natural, earth-tone hues that blend with the colors of the landscape.
- viii. Windows, doors, and the associated trim colors should complement the overall colors of the building and are to be dark shades or other natural colors found on the site.
- ix. Bright or light trim colors which create strong contrast are not allowed.
- x. All exposed wood surfaces, when treated, are to be treated with a semi-transparent stain or sealer to accentuate the grain and natural color variety in the wood.
- xi. A sample board including the proposed color palette will be submitted to the ARC for review.
- xii. The following guidelines apply:

- a. Exterior wall colors are not to exceed a light reflective value (“LRV”) of thirty-two (32).
- b. Accent colors may not exceed an LRV of forty-two (42).

F.2.7 Site Lighting

- i. Conform to applicable law, including Weber County Code Part II, Title 108, Chapter 108-16, as may be amended from time to time.

F.2.8 Mechanical Features

- i. Architectural screens are to be integrated into the design of the dwelling to camouflage mechanical features such as air conditioning units or generators.

F.3 SPAS, POOLS, AND HOT TUBS

- i. Spas, pools, and hot tubs are not allowed on the exterior of the structure. Any use of interior, balcony or roof terraces for spas should appear as extensions of the home and may require additional privacy measures. The design will be required to minimize noise transmission to neighboring properties, and if necessary, solid noise-absorbing covers may be required after equipment installation. In addition, any exterior pool or spa lighting (e.g., neon lights, flood lights, etc.) must be submitted to the ARC for review and approval prior to installation. Hot tubs are to be enclosed using materials consistent with the design of the dwelling.

F.4 ACCESSORY DWELLING UNITS

- i. Accessory Dwelling Units are not permitted.

F.5 PARKING

F.5.1 Garages

- i. Up to three (3) Garages are allowed; provided, however, that no more than two (2) single Garages may be adjacent to one another, and in the case of a third (3rd) Garage, such Garage must be (a) separated from the two (2) single Garages, or (b) turned ninety (90) degrees from the two (2) adjacent Garages. All Garage door designs are subject to ARC approval and must be handcrafted in appearance.

F.5.2 Driveways

- i. Driveway paving shall be kept to a minimum, especially in areas visible from rights-of-way, common areas, and adjacent Homesites. The maximum width of a two- (2) car Garage apron that is visible from the street or any other common area is twenty-four (24) feet. In all other instances, paving is limited to a width of twenty (20) feet; provided, however, wider paving may be allowed if such paving is divided by a method of patterned pavement, landscaping, or both.

F.5.3 Recreational Vehicles

- i. Parking of boats, trailers, recreational vehicles (including without limitation RVs, campers, side-by-side, and ATVs), or similar types of secondary recreational vehicles on a Homesite, including in a Garage, is prohibited.

G.

DISTRICT GUIDELINES

- 19** G.1 MOUNTAIN HOUSE (MH)
- 24** G.2 VILLAGE HOUSE (VH)
- 32** G.3 VILLAGE TOWNHOUSE (VT)
- 35** G.4 VILLAGE NESTS (VN)
- 39** G.5 RIDGE NESTS (RN)





G.1

MOUNTAIN HOUSE



OVERVIEW

G.1a Vision

The Mountain House District is a collection of distinctive houses set high along the open ridges of Powder Mountain. Each house has a unique location in the landscape and has views into the canyons as well as long, horizon views of the surrounding mountains and Salt Lake Basin. Ample space between the sites provides an opportunity to create a sense of retreat and intimacy, gathering the landscape around the dwelling while staging and reflecting upon the dramatic views. The Mountain House provides an opportunity to create dynamic spaces for social interaction, a key part of life in the Powder Mountain community. The open, spacious quality of the surrounding landscape and the proximity of trails promotes an intimate experience of nature as well as a ski-in, ski-out experience.

In addition to the Master Guidelines set forth above, a Mountain House must comply with the following:

G.1.2 PLANNING AND DESIGN

G.1.2.a Designing with the Land

Given the open space around the individual houses it is important that designs respond to the flow of the surrounding landforms while maintaining the continuity and integrity of natural elements such as tree groupings, outcroppings, and streams. Building masses shall be broken up and distributed to reduce the scale and visual impact. The following Design Principles have been established for the Mountain House:

- Building massing and roofs shall follow the slope of the land
- Avoid large consolidated masses and tall, unbroken wall surfaces
- Minimize site improvements such as driveways that create a significant disturbance to the natural landscape

G.1.2.b Building Envelope/Buildable Area and Maximum Total Building S.F.

Each Lot has a Building Envelope within the Lot Line that defines the location of the House on the site. This area has been carefully chosen to take advantage of the unique features of each site and to ensure for adequate space between individual houses and the Buildable Area for each Lot is defined by the limits of the Building Envelope. The Maximum Building Footprint for the Mountain House is four thousand square feet (4,000 S.F.) The Maximum Total Building S.F. is five thousand five hundred square feet (5,500 S.F.), with the exception of the following Lots:

- Summit Eden Phase 1B: Lots 24-26, 28-34, 123 (Maximum Total Building S.F. is four thousand five hundred (4,500) S.F.)
- Summit Eden Phase 1C: Lots 73, 75, 77-78 (Maximum Total Building S.F. is four thousand five hundred (4,500) S.F.)
- Summit Eden Phase 1C: Lot 79 (Maximum Total Building S.F. is four thousand (4,000) S.F.)

G.1.3 DEVELOPMENT STANDARDS

G.1.3.a Building Height and Number of Stories

- i. Maximum Building Height is twenty-eight feet (28') with the exception of the following Lots, for which the Maximum Building Height is thirty-five feet (35'):
 - Summit Eden Phase 1A: Lots 5-6, 8, 16-18, 21, 119
 - Summit Eden Phase 1B: Lots 26, 34, 123
 - Summit Eden Phase 1C: Lots 36, 73, 75, 153
 - Overlook at Powder Mountain Phases 1-3: Lots 1-8, 16-22, 26-27, 35-36
 - Powder Point at Powder Mountain: Lots 8-15

G.1.3.b Parking

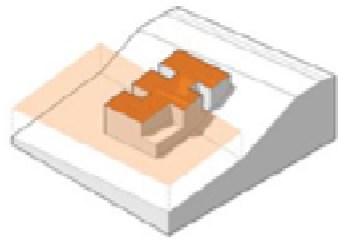
- i. Residential parking is required for each residence. Mountain House sites must provide permanent side-by-side parking for no less than two (2) cars.

G.1.4 ARCHITECTURAL CONSIDERATIONS

G.1.4.a Snow Management

- i. Plan driveways and parking areas with adequate space to pile snow for plowing.

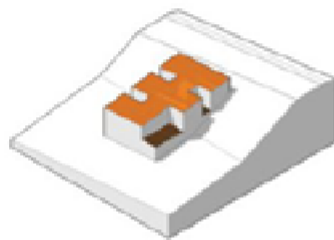
MOUNTAIN HOUSE DESIGN PRINCIPLES



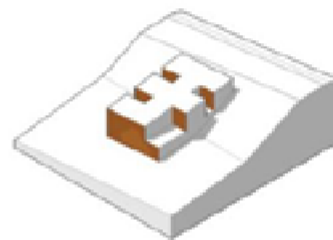
Building massing and roofs follow and align with the topography



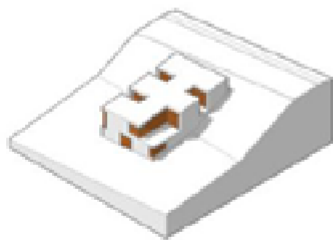
Stepped floors to minimize cut and fill



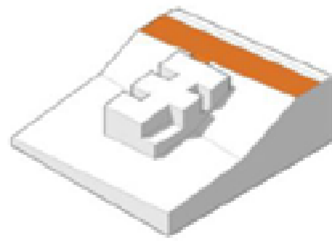
A combination of sloped and flat roof lines to vary massing



Minimize wall heights on downward facing slopes



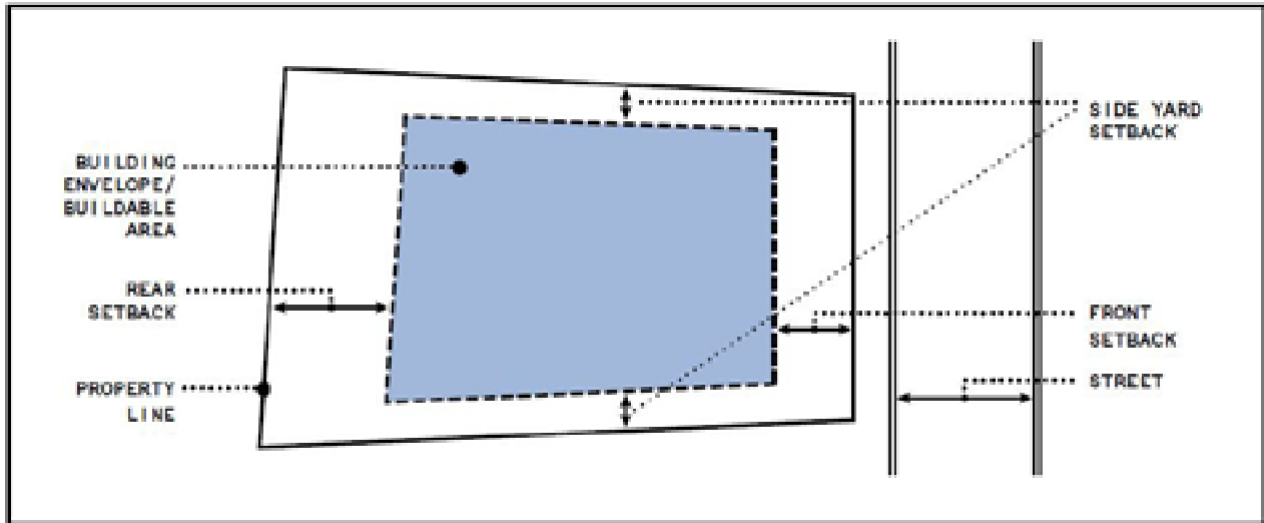
Optimized fenestration/wall ratio by orientation to maximize solar heat gain and reduce heat loss from building envelope



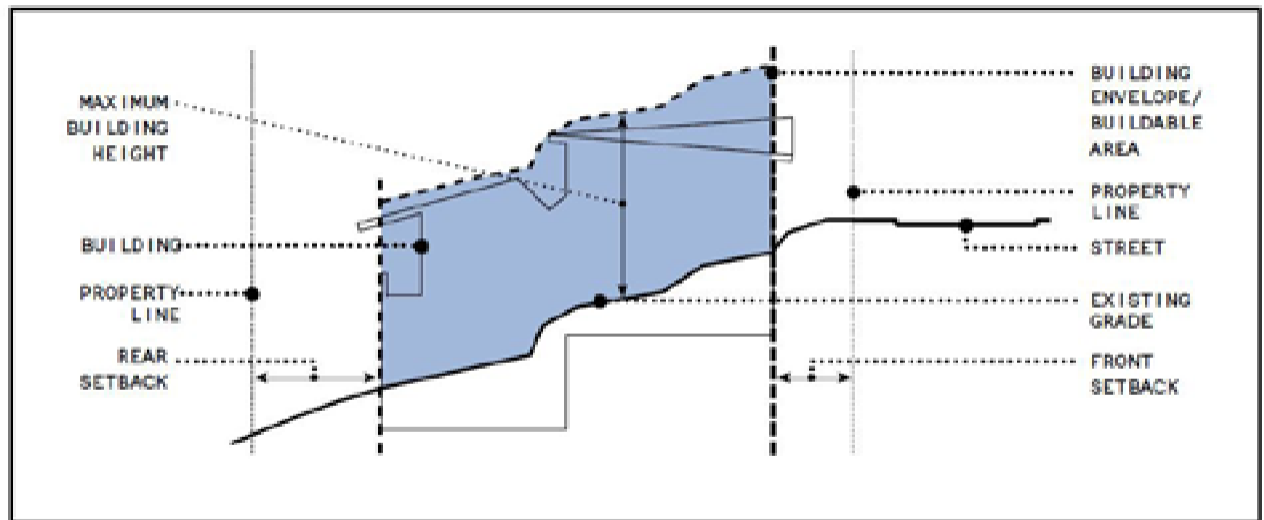
Driveways situated directly off of roads to minimize site impact



SETBACK DIAGRAM G.1.3A MOUNTAIN HOUSE (MH)



HEIGHT DIAGRAM G.1.3B MOUNTAIN HOUSE (MH)



G.2

VILLAGE HOUSE



G.2.1 OVERVIEW

G.2.1.a Vision

The Village House District is located in the transition between the Mountain House and Village Core, combining the generous space of the Mountain House with the pedestrian-oriented amenities of the Village. The Village House type is grouped in a closely spaced configuration to increase the density of the Village and promote street oriented activity. Views of nearby Lefty's ski run and unimpeded long views of the surrounding mountains and Salt Lake Basin are provided at the upper floor of each House. Decks and building entry porches provide an opportunity to create dynamic spaces for social interaction, an important part of life in the Powder Mountain community. Ski trails are woven through the District and allow for the ski-in, ski-out connections to the Powder Mountain trail network.

In addition to the Master Guidelines set forth above, a Village House must comply with requirements set forth in this Section G. 2.

G.2.2 PLANNING AND DESIGN

G.2.2.a Designing with the Land

Given the smaller Lot size, the massing of the Village House is vertically organized with major views and terraces oriented primarily to the south. Most of the Village lots have steeply sloped sites which encourages a stepped massing design, keeping the building height relatively low while allowing for views over the roofs of the houses below. Building Heights have been established so that the roof height of a down slope dwelling is not higher than the main floor of the up-slope dwelling. Designs that enhance social interactions along the Village streets such as porches and decks are encouraged.

The following Design Principles have been established for the Village House:

- Building massing and roofs shall follow the slope of the land
- Avoid large consolidated masses
- Minimize tall wall heights and unbroken surfaces, particularly on downward facing slopes
- The use of front porch and stoops along streets

G.2.2.b Building Envelope/Buildable Area and Maximum Total Building S.F.

Each Lot has a Building Envelope within the Lot Line that defines the location of the house on the site. This area has been carefully chosen to take advantage of the unique features of each site and to ensure for adequate space between individual houses. The Buildable Area for each Lot is defined by the limits of the Building Envelope. The Maximum Total Building S.F. varies with the individual Lots, as set forth below:

- Lots 49, 48: four thousand two hundred (4,200) S.F.
- Lots 64-69: two thousand five hundred (2,500) S.F.

- Lot 70: three thousand two hundred five (3,205) S.F.
- Lots 71-72: two thousand five hundred (2,500) S.F.
- Lots 47, 81-86: five thousand five hundred (5,500) S.F.
- Lots 144-151: two thousand five hundred (2,500) S.F.
- Lot 152: four thousand five hundred (4,500) S.F.

G.2.3 DEVELOPMENT STANDARDS

G.2.3.a Building Height and Number of Stories

- i. Maximum Building Height is twenty-eight feet (28') above Existing Grade measured from the centerline of the buildable area for all Lots except Lots 48, 49, 72, 73, and 144-151, which have a Maximum Building Height of thirty five feet (35'). See Additional Building Height Criteria below for specific Building Height Criteria.

G.2.3.a.1 Additional Building Height Criteria

- i. For Lots 85, 86 the Building Height is fifteen feet (15') above the top back of curb measured from the center of the Lot or twenty-eight feet (28') above Existing Grade whichever is less, refer to height diagram **G.2.3b1i-iii**.
- ii. For Lots 81, 82, 83, 84, the Building Height is eleven feet (11') above the top back of curb measured from the center of the Lot or twenty-eight feet (28') above Existing Grade whichever is less, refer to height diagram **G.2.3b1i-iii**.
- iii. For Lots 47, 48, 49, the Building Height is twenty-eight feet (28') above the top back of curb measured from the center of each Lot or thirty-five feet (35') above Existing Grade, whichever is less, refer to height diagram **G.2.3b.1vi**.
- iv. For Lot 152, the Building Height is twenty-six (26) feet Above Grade from the top back of curb measured from the center of the property line and twenty-seven (27) feet Above Grade from the center of rear building envelope/setback, refer to height diagram **G.2.3b.1iv**.
- v. For Lot 66, the Building Height is twenty-seven (27) feet Above Grade from the top back of curb measured from the center of the property line and twenty-seven (27) feet Above Grade from the center of rear building envelope/setback, refer to height diagram **G.2.3b.1iv**.
- vi. For Lot 69, the Building Height is twenty-seven (27) feet Above Grade from the top back of curb measured from the center of the property line and twenty-eight (28) feet Above Grade from the center of rear building envelope/setback, refer to height diagram **G.2.3b.1iv**.
- vii. For Lots 70, 71, and 152, the Building Height is twenty-eight (28) feet Above Grade from the top back of curb measured from the center of the property line and twenty-eight (28) feet Above Grade from the center of rear building envelope/setback, refer to height diagram **G.2.3b.1iv**.
- viii. For Lot 72, the Building Height is twenty-eight (28) feet Above Grade from the top back of curb measured from the center of the property line and twenty-seven (27) feet Above Grade from the center of rear building envelope/setback, refer to height diagram **G.2.3b.1iv**.
- ix. For Lot 65, the Building Height is twenty-eight (28) feet Above Grade from the top back of curb and twenty-six (26) feet Above Grade from the center of rear building envelope/setback, refer to height diagram **G.2.3b.1v**.
- x. For Lot 67, the Building Height is twenty-eight (28) feet Above Grade from the top back of curb and twenty-four (24) feet Above Grade from the center of rear building envelope/setback, refer to height diagram **G.2.3b.1v**.
- xi. For Lot 68, the Building Height is twenty-eight (28) feet Above Grade from the top back of curb and twenty-five (25) feet Above Grade from the center of rear building envelope/setback, refer to height diagram **G.2.3b.1v**.
- xii. For Lot 64, the Building Height is twenty-six (26') feet Above Grade from the edge of curb measured from the center of the property line center of the front setback and twenty-two (22') feet Above Grade from the center of the rear building envelope/ setback. The maximum height is twenty-eight (28') feet Above Grade at the southwest corner measured back ten feet (10'), refer to height diagram **G.2.3b.1vii**.

G.2.3.b Parking

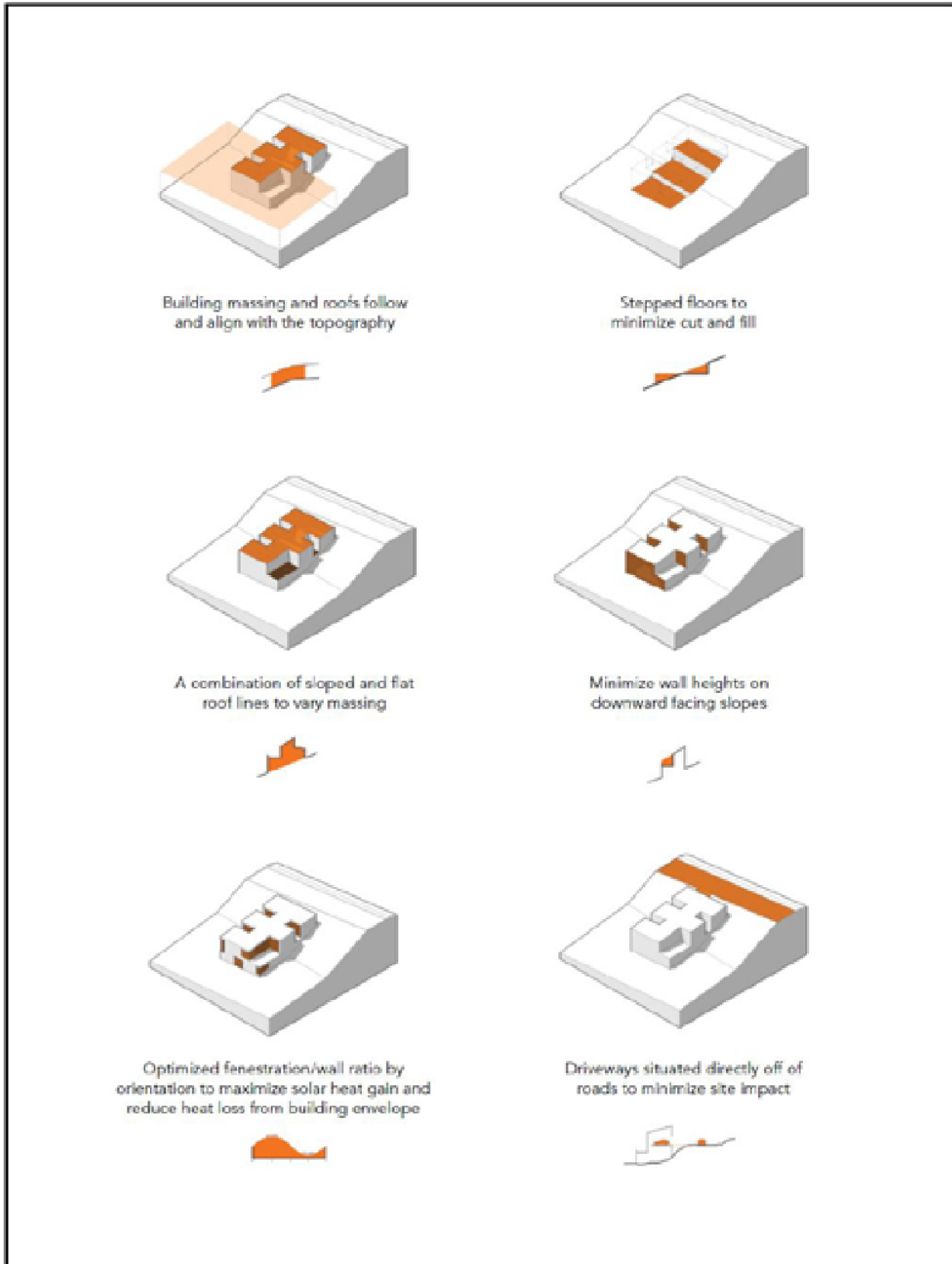
- i. Residential parking is required for each residence. Village House sites must provide enclosed parking for a minimum of one (1) car.

G.2.4 ARCHITECTURAL CONSIDERATIONS

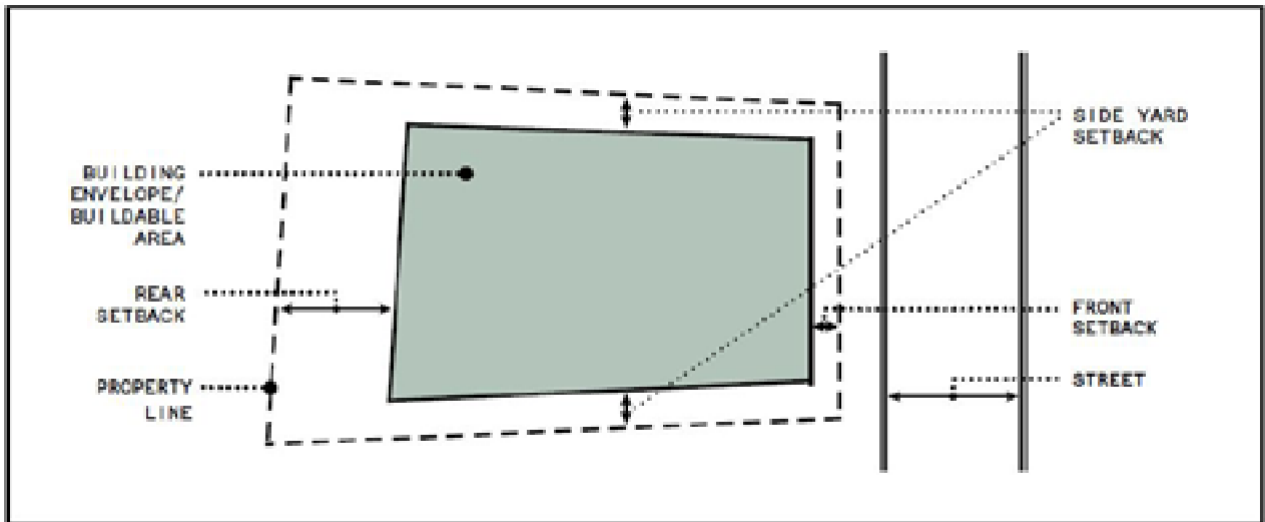
G.2.4.a Front Porches

- i. Front Porches in the form of sheltered recesses facing the street at building entries are encouraged

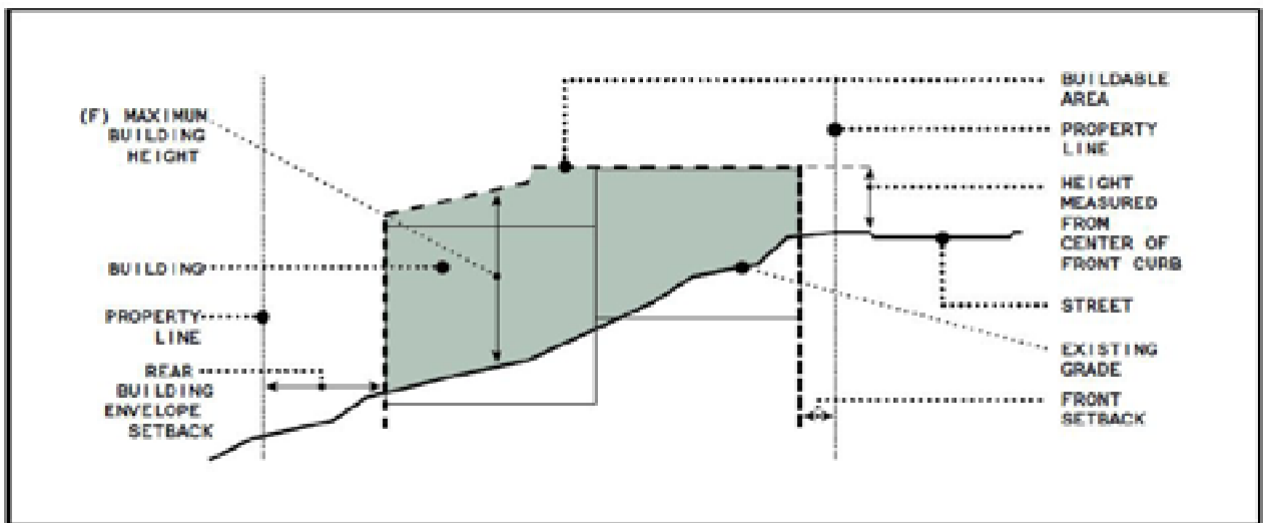
VILLAGE HOUSE DESIGN PRINCIPLES



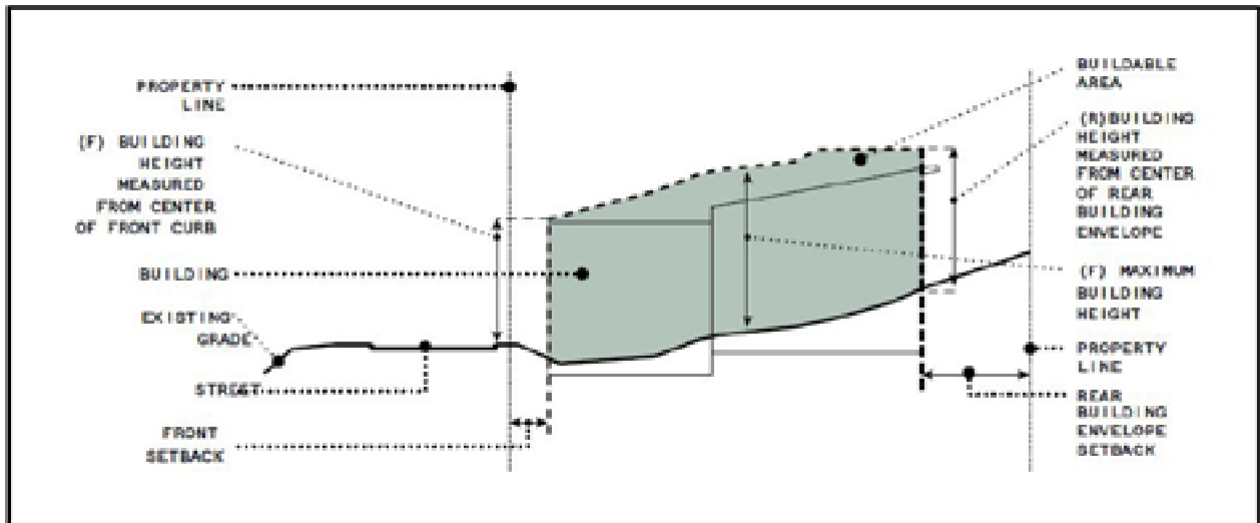
SETBACK DIAGRAM G.2.3A VILLAGE HOUSE (VH)



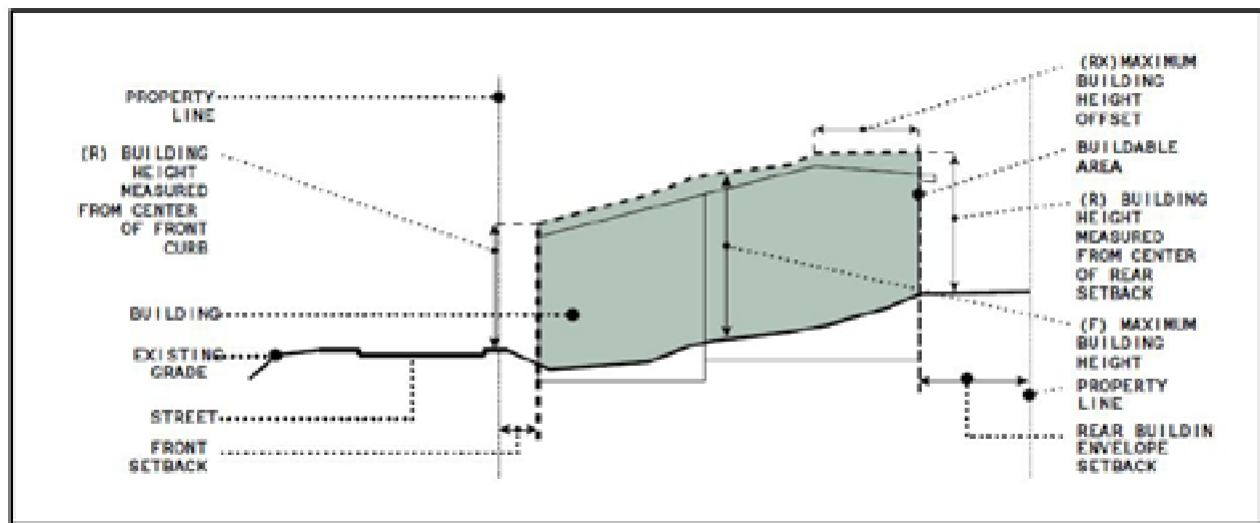
HEIGHT DIAGRAM G.2.3B1I-III (LOTS 81, 82, 83, 84, 85, 86)



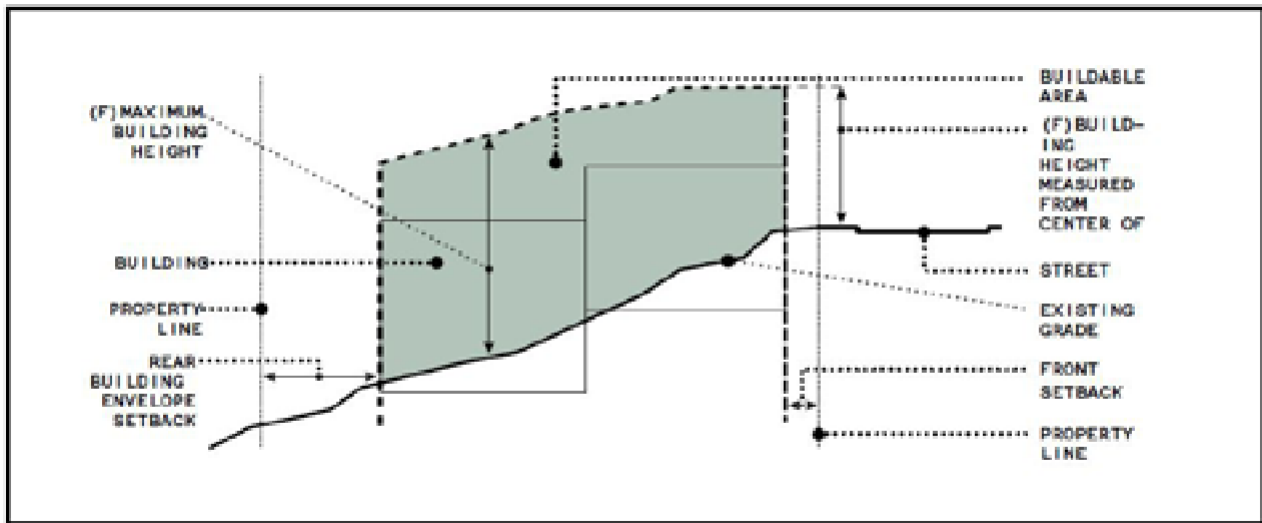
HEIGHT DIAGRAM G.2.3B.1V (LOTS 66, 69, 70, 71, 72, 152)



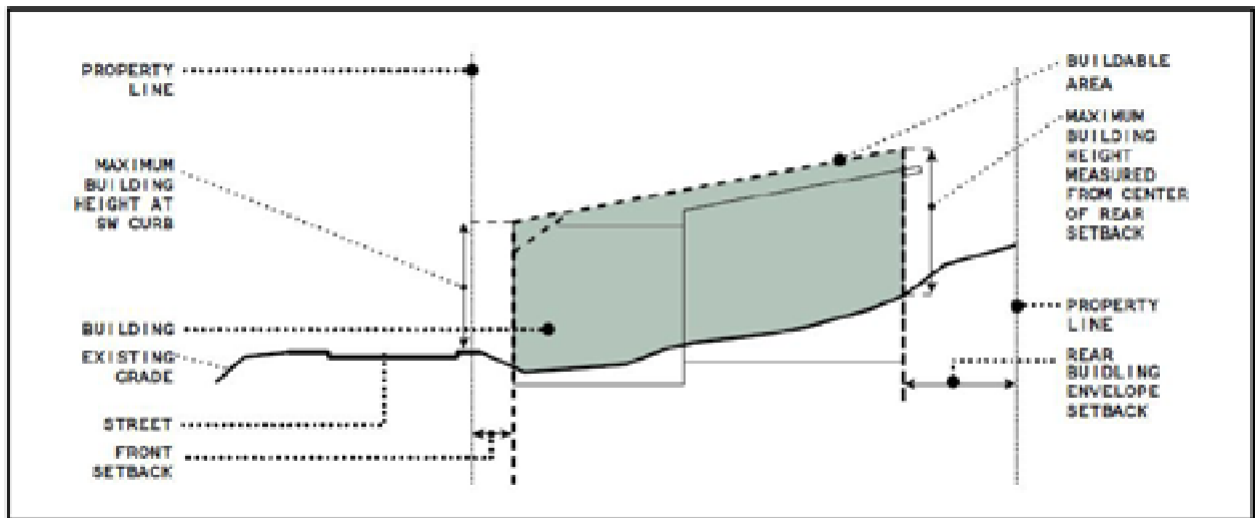
HEIGHT DIAGRAM G.2.3B.1V (LOTS 65, 67, 68)



HEIGHT DIAGRAM G.2.3B.1VI (LOTS 47, 48, 49)



HEIGHT DIAGRAM G.2.3B.1VII (LOT 64)





G.3

VILLAGE TOWNHOUSE



G.3.1 OVERVIEW

G.3.1.a Vision

The Village Townhouse District is located in the transition between the Village House District and Village Core. The townhouse type is characterized by a row of dwellings separated by common “party walls” to increase the density of the Village and promote street oriented activity.

Near views of nearby Lefty’s ski run and unimpeded long views of the surrounding mountains and Salt Lake Basin are provided at the upper terrace of each dwelling, providing an opportunity to create dynamic spaces for social interaction, an important part of life in the Powder Mountain community. Ski trails are woven through the District allow for the ski-in, ski- out connections to the Powder Mountain trail network.

In addition to the Master Guidelines set forth above, a Village Townhouse must comply with the following:

G.3.2 PLANNING AND DESIGN

G.3.2.a Designing with the Land

Given the smaller Lot size, the massing of the Village Townhouse is vertically organized with major views and terraces oriented primarily to the south and west depending upon the Lot. Most of the Village lots have steeply sloped sites which encourages a stepped massing design, keeping the building height relatively low while allowing for views over the roofs of the houses below.

The following Design Principles have been established for the Village Townhouse:

- Building massing and roofs shall follow the slope of the land
- Avoid large consolidated masses
- Minimize tall wall heights and unbroken surfaces, particularly on downward facing slopes

G.3.2.b Lot, Buildable Area, and Maximum Total Building S.F.

For the Village Townhouse District, the Buildable Area coincides with the Lot Line between two (2) adjacent Lots and the front and rear setbacks are defined by the Powder Mountain Plat drawing. The Maximum Total Building S.F. varies with the individual Lots, as set forth below:

- Lot 131: two thousand seven hundred thirty (2,730) S.F.
- Lot 132: two thousand six hundred (2,600) S.F.
- Lot 133: three thousand three hundred ten (3,310) S.F.
- Lot 134: two thousand seven hundred sixty-six (2,766) S.F.
- Lots 135, 137, 139-141: two thousand eight hundred (2,800) S.F.
- Lots 136, 138: two thousand nine hundred forty (2,940) S.F.

- Lot 142: four thousand (4,000) S.F.

G.3.3 DEVELOPMENT STANDARDS

G.3.3.a Building Height and Number of Stories

- i. See Building Height Diagram **G3.3b**.

G.3.3.b Parking

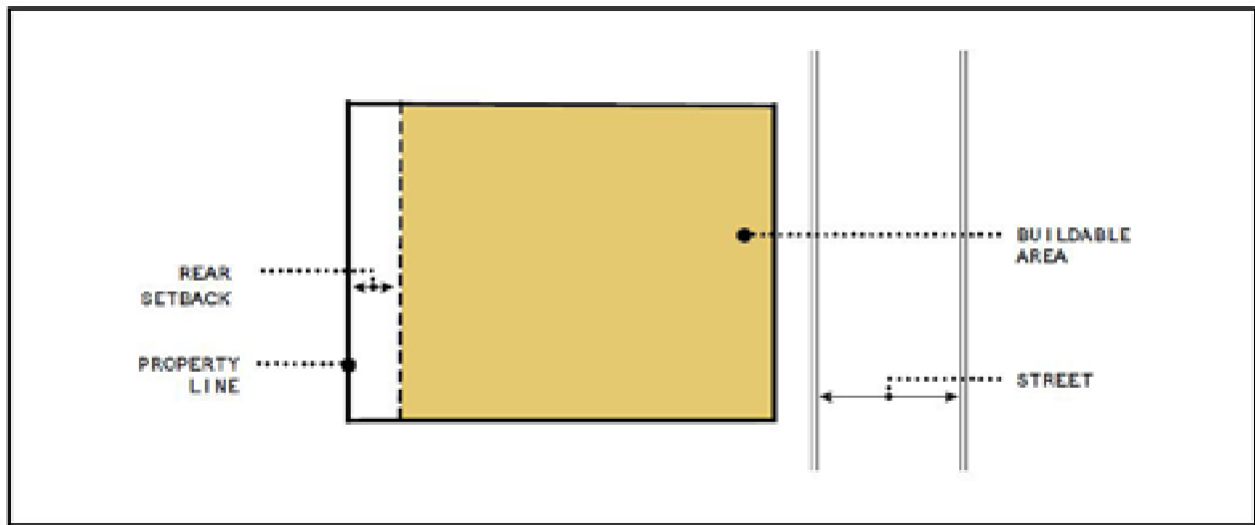
- i. Townhouse sites must provide parking for a minimum of one (1) car.

G.3.4 ARCHITECTURAL CONSIDERATIONS

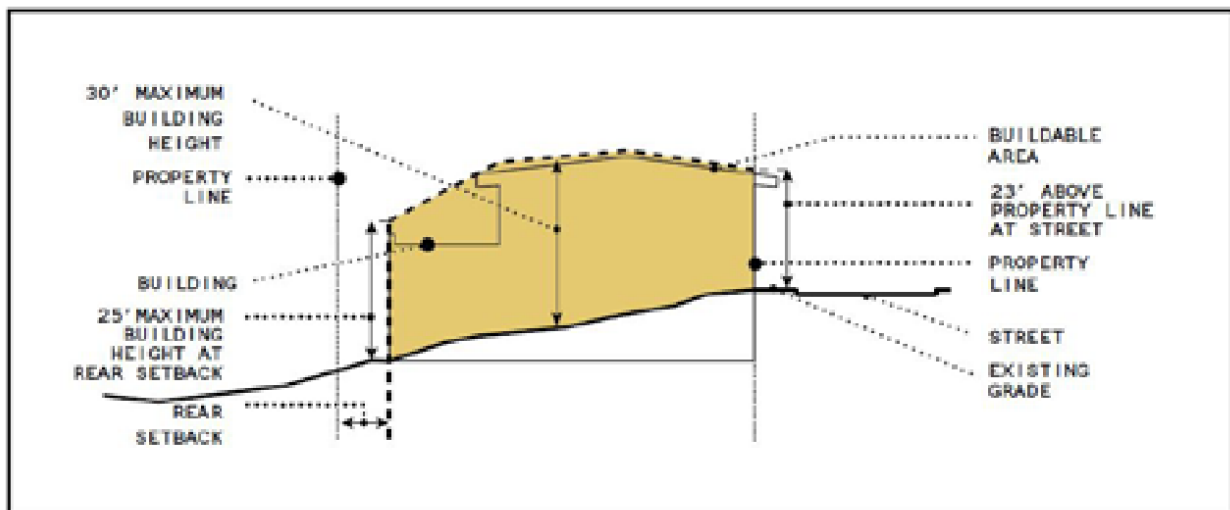
G.3.4.a Front Porches

- i. Front porches in the form of sheltered recesses facing the street at building entries are encouraged.

SETBACK DIAGRAM G.3.3A TOWNHOUSE (TH)



HEIGHT DIAGRAM G.3.3B TOWNHOUSE (TH)



G.4

VILLAGE NESTS



G.4 OVERVIEW

G.4.a Vision

The Village Nest District is a grouping of efficiently designed structures located on a grassy slope east of the Village, bordered by an aspen grove. The Village Nest District provides an opportunity of living close to nature while taking advantage of the amenities of the Village. As with other Districts, there is direct access to Powder Mountain ski trails. The site has long views of distant ridges to the southeast.

In addition to the Master Guidelines set forth above, Village Nests must comply with the following:

G.4.1 PLANNING AND DESIGN

G.4.1.a Form Based Planning

The planning for the Village Nest district is governed by the Powder Mountain site plan that determines the location, maximum plan dimensions and maximum height for each structure. The land adjacent to the Building Envelope/Buildable Area for each Lot is a Limited Common Area and will be maintained by the Village Nests Homeowners Association. The intent is to maintain the surrounding landscape in its natural state with access limited to designated pathways. There are two (2) types of Village Nest units; a larger two- (2) Story unit along Daybreak Ridge Road that includes a Garage and a two- (2) Story unit without an attached Garage (detached Garages are provided adjacent to the roadway) located away from the road and served by a network of stairs and paths. The building massing is specifically designed to provide a higher level of continuity within the development and allow for views to the east from the main level of a unit.

The planning has been developed according to the following principles:

- Minimizing car access
- Maximize views
- Minimize site disturbance
- Designated pedestrian path network

G.4.2.b Design Intent

The Design Intent is to encourage variety within a set building volume. Variation can occur in the following ways:

- Roof profiles
- Building Materials
- Composition and size of windows and decks

G.4.2.c Building Envelope, Buildable Area, and Maximum Total Building S.F

- i. The Building Envelope for Lots 1-8 and 15 is sized to accommodate the larger Village Nest unit and includes area for the dwelling, an attached, single Garage and a projecting deck. The Buildable Area for each unit is one thousand five hundred thirty (1,530) S.F. The Maximum Total Building S.F. for each Lot is two thousand (2,000) square feet.
- ii. The Building Envelope for Lots 9-14 and 16-20 is sized to accommodate the smaller Village Nest unit and includes area for the dwelling and a projecting deck. The Buildable Area for each unit is nine hundred (900) square feet. The Maximum Total Building S.F. is one thousand four hundred (1,400) S.F.
- iii. See diagrams **G4.2ci**, **G4.3bi**, **G4.3cii** and **G4.3bii** for specific information related to Building Envelope / Buildable Area, projecting decks and at-grade patios.

G.4.3 DEVELOPMENT STANDARDS

G.4.3.a Building Height and Number of Stories

- i. See diagrams **G4.3BI** and **G.4.3BII** for specific information related to building heights.
- ii. Buildings are not to exceed two (2) Stories.
- iii. Lofts are permitted so long as they do not exceed twenty-five percent (25%) of the main floor area. Lofts are to be used for storage or utility functions only and are not considered habitable space.

G.4.3.b Parking

- i. Village Nest units must provide parking for a minimum of one (1) car, either in an attached Garage or a detached Garage adjacent to the roadway, as set forth in Section G.4.1.a above.

G.4.4 ARCHITECTURAL CONSIDERATIONS

G.4.4.a Roofs

- i. Specific consideration shall be given to snow shed from sloped roofs and the units proximity to walkways, skiways or other publicly accessible and traveled areas.

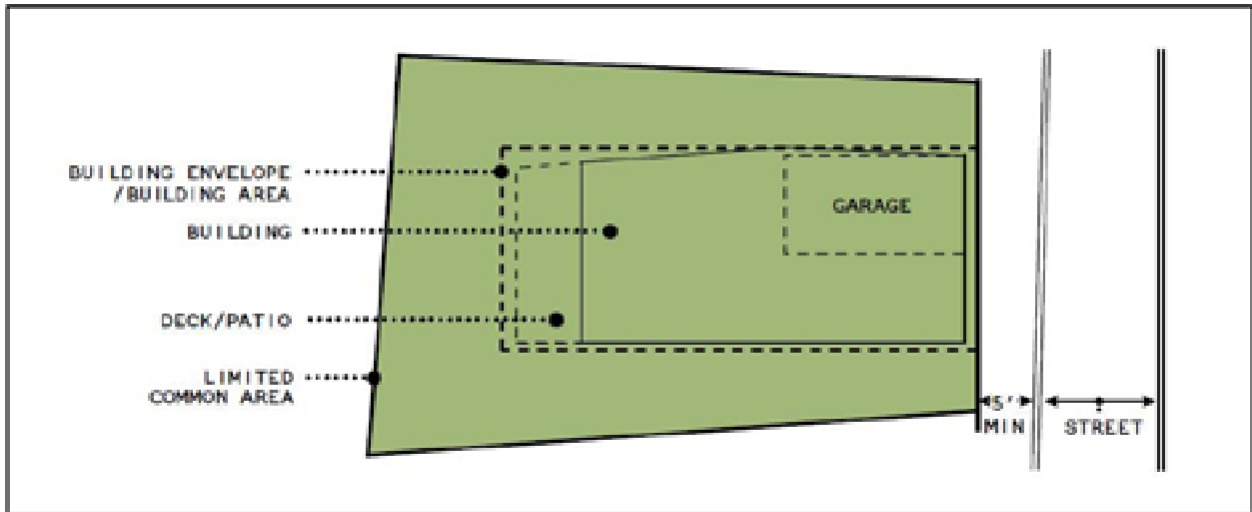
G.4.4.b Walls

- i. Given the small size of the Nests, it is assumed that the exterior walls will be relatively simple, articulated with windows, with minimal overhangs and recesses except over the projecting balcony.

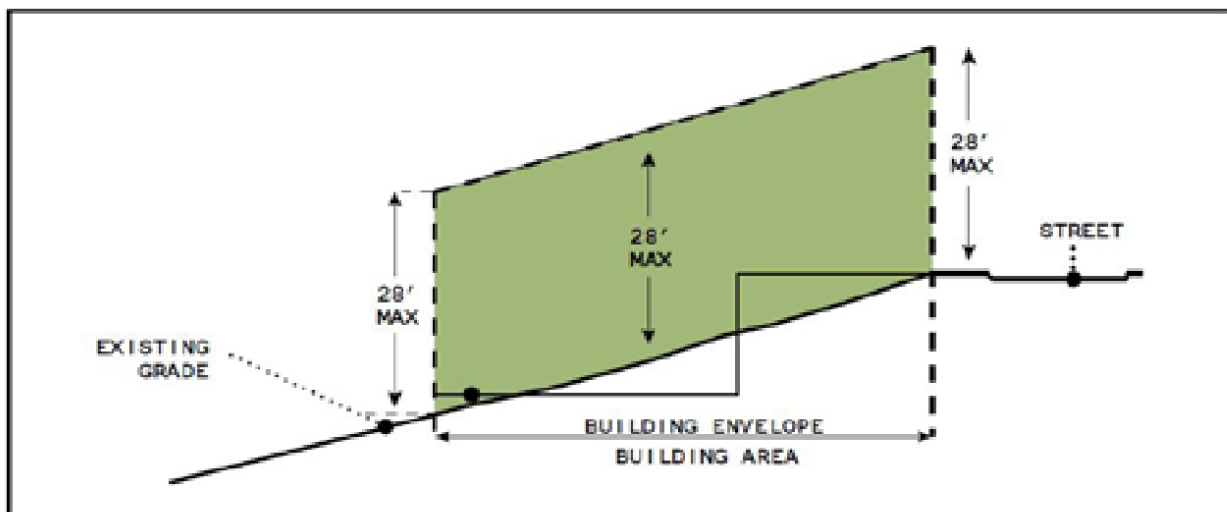
G.4.4.c Decks and Bay Windows

- i. Decks shall have railings or parapets to conceal deck furnishings as viewed from the street or other units.

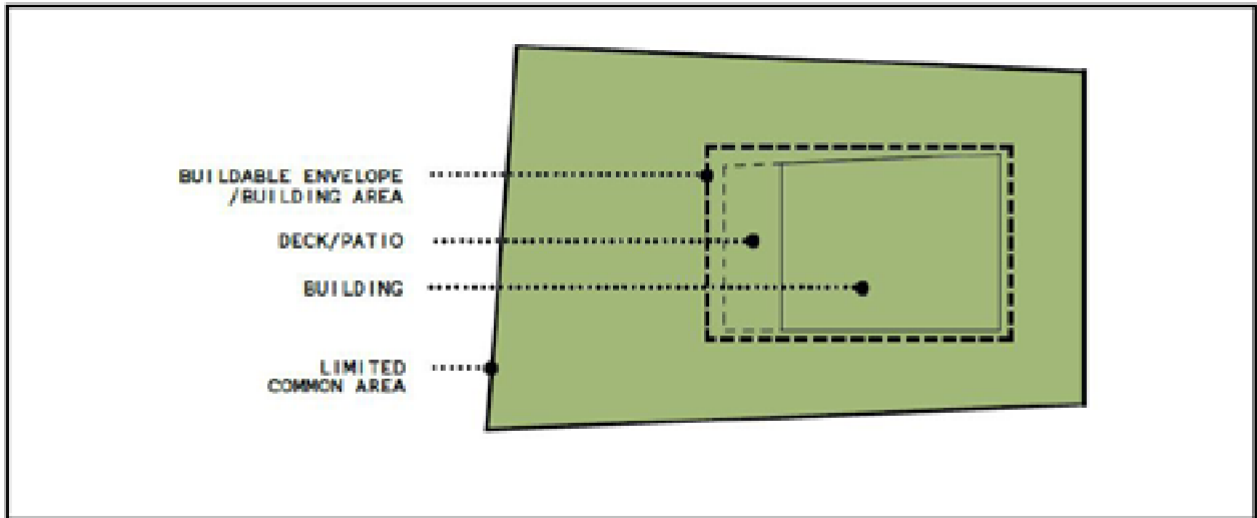
LOT DIAGRAM G.4.2CI (LOTS 1-8, 15) VILLAGE NEST (VN)



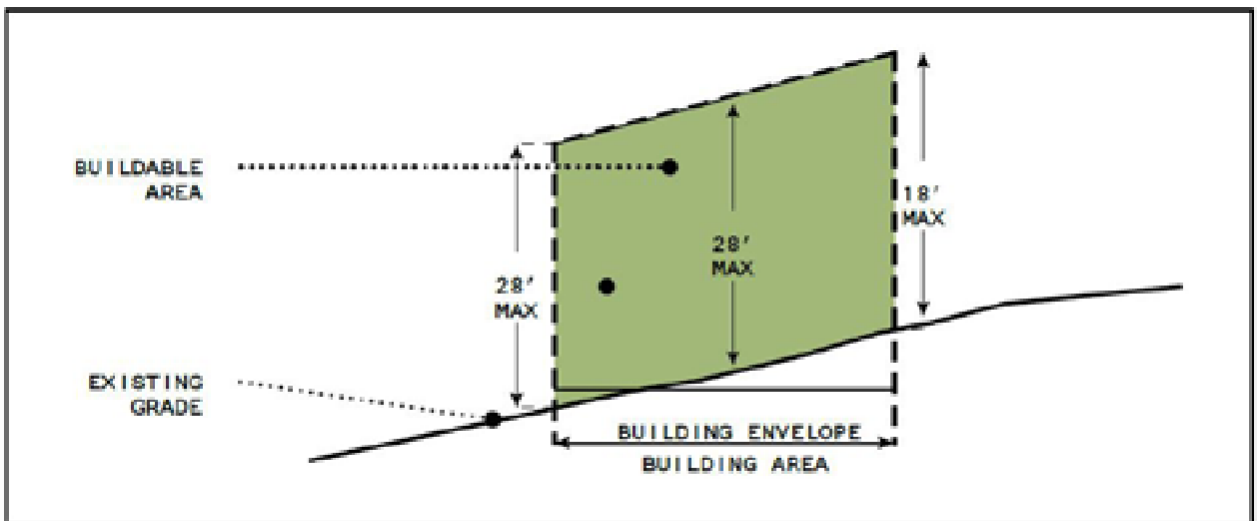
HEIGHT DIAGRAM G.4.3BI (LOTS 1-8,15)



LOT DIAGRAM G.4.2CII (LOTS 9-14, 16-20)



HEIGHT DIAGRAM G.4.3BII (LOTS 9-14, 16-20)



G.5

RIDGE NESTS



G.5.1 OVERVIEW

G.5.1.a Vision

The Ridge Nest District is a grouping of efficiently designed structures located on a treed ridge with distant Salt Lake Basin views to the north and direct access to Hidden Lake ski trails. The Ridge Nest District is envisioned as a place for highly creative and experimental designs that expand the possibilities of building in a high mountain environment.

In addition to the Master Guidelines set forth above, Ridge Nests must comply with the following:

G.5.2 PLANNING AND DESIGN

G.5.2a Form Based Planning

The planning for the Ridge Nest District is governed by the Powder Mountain site plan that determines the location, maximum plan dimensions and maximum height for each structure. Parking is limited to designated parking areas remote from the units. The intent is to maintain the surrounding landscape in its natural state with access limited to designated pathways. The land adjacent to the Buildable Area is a Limited Common Area and will be maintained by the Ridge Nest Homeowners Association, Inc. There are two (2) types of Ridge Nest units; a one (1) Story unit and a two (2) Story unit. The planning has been developed according to the following principles:

- Minimizing car access
- Maximize views
- Minimize site disturbance
- Designated pedestrian path network

G.5.2.b Design Intent

As previously noted, the Design Intent is to encourage experimentation and variety in the architecture of the District. Experimental approaches are encouraged in the following areas:

- Building Materials
- Energy and Sustainability
- Social Organization
- Building Form

G.5.2.c Lot, Buildable Area, and Maximum Building Area

The Building Envelope for all Lots in the Ridge Nest District is one thousand two hundred ninety-three (1,293) S.F. The Maximum Total Building S.F. varies with the individual Lots, as set forth below:

- Lots 1-7: one thousand eighty (1,080) S.F.
- Lots 8-14, 16: one thousand five hundred eighty-eight (1,588) S.F.

G.5.3 DEVELOPMENT STANDARDS

G.5.3.a Building Height and Number of Stories

- i. Building Height not to exceed fourteen feet (14') above Existing Grade for Lots 1-7 and twenty-eight feet (28') above Existing Grade for Lots 8-14, and 16.
- ii. Buildings are not to exceed one (1) Story for Lots 1-7 and two (2) Stories for Lots 8-14 and 16.

G.5.3.b Parking

- i. One (1) parking space for each dwelling is provided in nearby parking areas.

G.5.4 ARCHITECTURAL CONSIDERATIONS

G.5.4.a Roofs

- i. Flat roofs are encouraged and snow guards or brakes are required on roofs with a slope over 2:12 to reduce avalanche potential.

G.5.4.b Walls

- i. Large, unarticulated wall surfaces are discouraged.

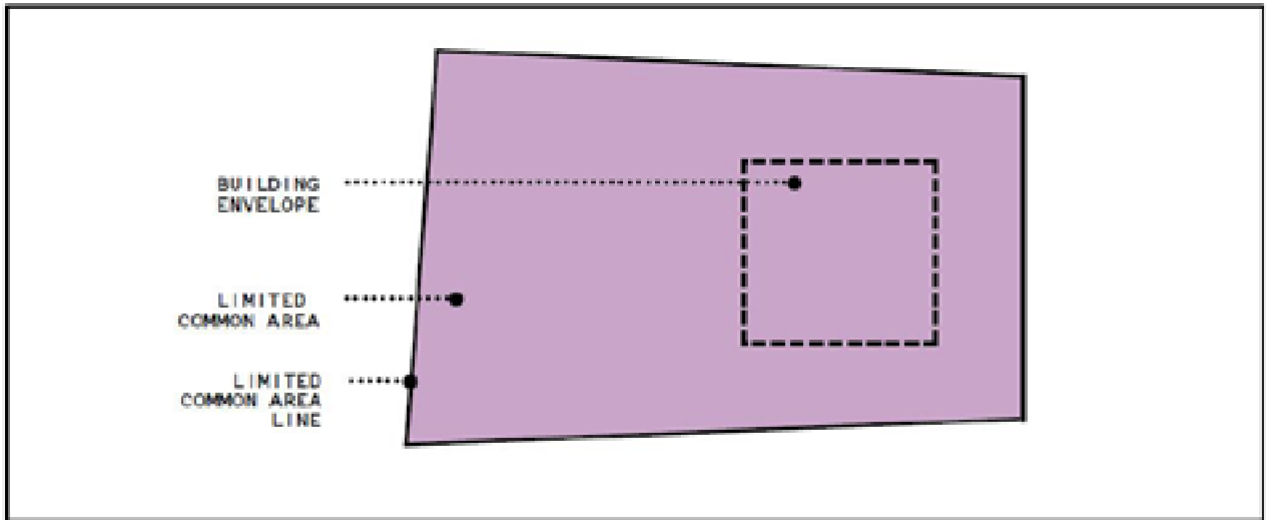
G.5.4.c Decks and Bay Windows

- i. Decks and bay windows can project beyond the Lot Line by thirty inches (30"). Deck and projecting bay window area shall be included in the ANSI Building Area.
- ii. Roof decks are permitted so long as no portion of the deck exceeds the Maximum Building Height. Stair Enclosures accessing the deck can protrude eight feet (8') beyond the Maximum Building Height.

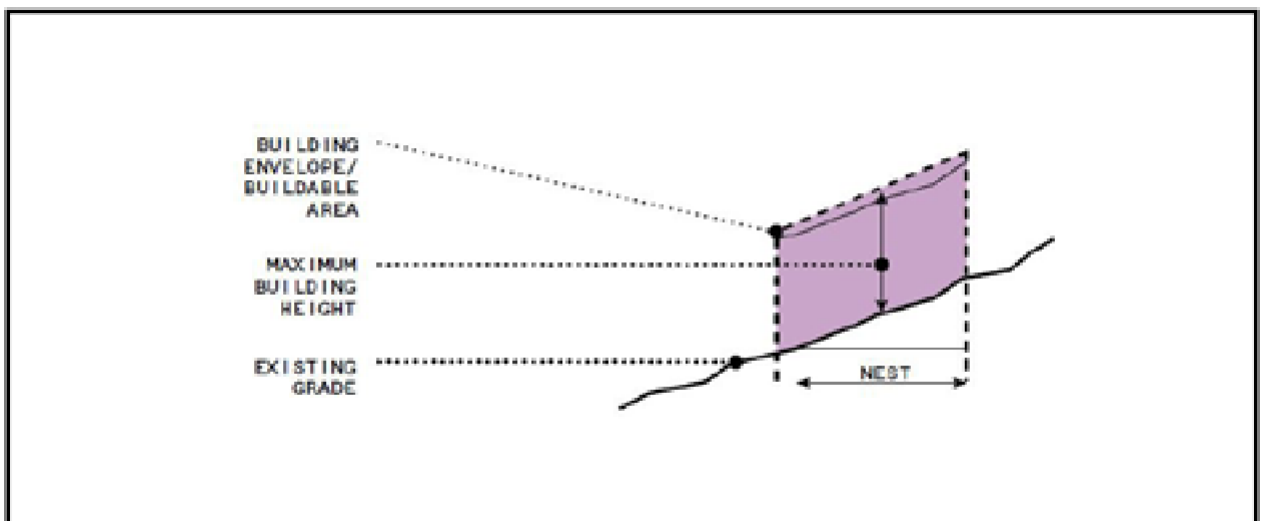
G.5.4.d Spas, Pools and Hot Tubs

- i. Spas, pools, and hot tubs are not permitted in the Ridge Nests District.

LOT DIAGRAM G.5.2C RIDGE NESTS (RN)



HEIGHT DIAGRAM G.5.3B RIDGE NESTS (RN)





H.

LANDSCAPE STANDARDS



H.1 GENERAL PLANTING GUIDELINES

In general, no permanent irrigation is allowed within the development and therefore all proposed landscapes must account for this in the design and placement on each site. Any proposed planting within each Lot is to match and enhance the existing site plant palette. All proposed exterior landscape material shall be indigenous to the Wasatch Mountains area with the applicant providing all proposed plant material species for ARC review and approval as part of the landscape plan.

Plant materials are to be planted in drifts or large groupings similar to the natural landscape patterns on the site.

H.1.a Trees

Extra precautions are to be made to retain existing trees and vegetation. A developer's representative will meet with builders prior to land disturbance to review the staking of the footprint and flag trees to be preserved. Builders are required to preserve as many trees as possible. In addition, trees should be retained along shared property lines and between building areas. In areas where existing trees cannot be saved in sufficient quantity, native species are to be planted in accordance with elevation, soil conditions, and light levels.

H.1.b Shrubs

Shrubs used on Powder Mountain properties should have an emphasis on natural massings. Shrubs at the foundation of a structure may be grouped with architectural elements. Potted shrubs and garden plantings are allowed but should be used in limited quantities and within more private outdoor spaces.

H.1.c Ground Cover

Extensive use of ground cover is encouraged as an effective way to visually and environmentally cover vast areas of soil.

H.1.d Lawns, Short Grass & Turf

Lawns, short grass areas, and turf should be used as seldom as possible and must be limited in size. The ARC must review plans for lawns, short grass, and turf and their applied locations. Approval depends on the Lot and its relationship to the street and public amenities. Turf grass over six inches (6") in height is not permitted unless the turf is a naturally maintained meadow-grass turf variety installed for water-conservation planting, such as BioMeadow, from BioGrass.

H.1.e Annual & High-Maintenance Flowering Ornamental Shrubs

Perennial flowers are encouraged on Powder Mountain properties where viable. Annuals and higher maintenance shrubs are prohibited. Annuals and similar high-maintenance shrubs will not be replaced or maintained by the community landscape-maintenance company, and it will be the responsibility of the Owner to maintain and replace plants in accordance with general professional landscape practices.

H.2 VEGETATION, PROTECTION, REMOVAL & THINNING

Building improvements are to be designed around existing landscape features such as aspen groves, evergreen stands, and mountain shrub massings and should always aim to be located at the edges of natural landforms. The removal of vegetation on Lots is permitted only for clearing of a driveway or home construction. The ARC may approve limited tree removal or thinning to open up selective views. Unauthorized removal or cutting of trees/shrubs by the Owner or consultant is not allowed and is subject to fines up to Fifty Thousand Dollars (\$50,000), depending upon the size of the tree/shrub.

H.3 WILDFIRE SAFETY MEASURES

The following safety standards have been implemented as preventive measures against wildfire:

1. All homes are to observe the **WILDLAND URBAN INTERFACE CODE (WUI)** requirements as specified by Weber County.

H.4 WILDLIFE

Landscape plans must be sensitive to the use and protection of plants that may be desirable to foraging animals

H.5 MAINTENANCES

H.5.a Common Areas

The Association will maintain the common areas, which are defined on the Master Plan or individual site plan.

H.5.b Residences

Maintenance guidelines are as follows:

- a. The Owner shall provide maintenance of his or her own property and landscape improvement.
- b. All plants must be kept from spreading to neighboring Lots except where an agreement noting otherwise is reached between two neighbors or when the same such plant is already planted on the adjacent Lot Line.
- c. Use of environmentally safe chemicals, herbicides, and pesticides is required, with only special exceptions as approved by Powder Mountain.

I.

APPENDIX I-IV

46	I. COMMUNITY REGULATIONS
50	II. ARCHITECTURAL REVIEW COMMITTEE OVERVIEW
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APPENDIX I

Community Regulations

COMMUNITY REGULATIONS

PERMITTED USE

Each Homesite shall be used exclusively for residential purposes, and no more than one (1) family (including transient guests) shall occupy such private area; provided, however, that nothing in this paragraph shall be deemed to prevent uses of such private area for residential or works, the purpose which does not include employees, and does not advertise or offer any product or work for sale to the public upon or from such private area. All laws, regulations, rules, and other requirements of any governmental agency or other governing authority, as applicable, shall be followed at all times.

NOISE

No noxious or offensive activity shall be carried on upon any private area, nor shall anything be done or placed in a private area which may be or become a nuisance, or cause unreasonable embarrassment, disturbance, or annoyance to other Owners in the enjoyment of their private areas, or in their enjoyment of Common Areas. In determining whether there has been a violation of this paragraph, Powder Mountain will recognize the premise that Owners, by virtue of their interest and participation in Powder Mountain, are entitled to the reasonable enjoyment of the natural benefits and surroundings of Powder Mountain. Without limiting any of the foregoing, no exterior speakers, horns, whistles, bells, or other sound devices, except security devices used exclusively to protect the security of the private area and improvements, shall be placed or used upon any private area. The maximum allowable noise shall be sixty-five (65) decibels measured from the property line. Specific noise prohibitions such as loading operations, construction work, domestic power equipment, garbage collection between the hours of 10 p.m. and 7 a.m.

SERVICE AREAS

Fuel tanks, garbage and recycling containers, stored patio furniture, and similar service equipment shall not be visible from neighbors' properties, or from the road or trails. In addition, trash and recycling containers must be inaccessible to wildlife.

RECREATIONAL VEHICLES AND MOBILE HOMES

No trailer of any kind, truck camper, or mobile homes shall be kept, placed or maintained upon any private area in such a manner that such trailer, truck camper or boat is visible from neighboring property; provided, however, that the provisions of this paragraph shall not apply to temporary construction shelters of facilities maintained during, and used exclusively in connection with, the construction of any work or improvement.

ROOF APPURTENANCES

All roof-installed equipment is required to be screened and must be submitted to the ARC for review and approval prior to installation. Screening must consist of an eighty percent (80%) visual restriction and made from materials consistent with the exterior of the building and the Design Guidelines.

PROPANE TANKS

The securing and bracing of propane pipes entering the home are regulated by current building codes and must be compliant. All propane tanks must have an ARC-approved cover (dog house) over the regulators to prevent them from freezing during the winter.

ACCESSORY STRUCTURES

No accessory structures or buildings shall be constructed, placed or maintained upon any private area prior to the construction of the main structure of the residence; provided, however, that the provisions of this paragraph shall not apply to temporary construction shelters or facilities maintained during, and used exclusively in connection with, the construction of the main structure of the residence. No trailer or vehicle shall be constructed, reconstructed or repaired upon any private area in such manner that such construction, reconstruction or repair is visible from neighboring property.

FENCING

Fencing and Accessory Structures are not permitted outside the Buildable Area of each Lot.

DOMESTIC ANIMALS

No domestic animals or fowl other than a reasonable number of generally recognized house or yard pets shall be maintained on any private area.

MULTIPLE/COMBINED LOT BUILDING DEVELOPMENT

All designs and footprints for combined Lot development is subject to ARC approval.

FIRE AND FIRE PITS

There shall be no exterior wood burning fires whatsoever. Natural gas fire pits are permitted if surrounded by non-combustible surface extending beyond the unit to a dimension equal to the height of the unit. Barbecue grills are permitted.

FUEL TANKS

All fuel tanks, water tanks or towers, or similar storage facilities shall either be constructed as an integral part of the main structure of the residence or shall be installed or constructed underground as per the International Fire Code.

WATER WELL

No water well or other independent water supply works or facility shall be constructed or maintained within any private area.

CHANGES TO EXISTING SITE DRAINAGE

No change in the natural or existing drainage for surface waters are permitted outside of the defined Buildable Area for each Lot.

MAINTENANCE OF COMMON AREAS

The Association will maintain common areas, which are defined on the Master Plan or individual site plan.

TRASH ENCLOSURES AND COLLECTION

All garbage and trash shall be placed and kept in covered containers. In no event shall such containers be maintained so as to be visible from neighboring property. The location of trash containers must be approved by the ARC. Trash and recycling containers must be inaccessible to wildlife. The collection and disposal of garbage and trash shall be in strict compliance with Powder Mountain rules.

SIGNS

No signs, including but without limitation, commercial, political and similar signs, visible from neighboring property, shall be erected or maintained upon any private area, except such signs as may be required by legal proceedings, and residential identification signs of a combined total face area of three (3) square feet or less for each residence. Property number/identification signs not exceeding one (1) square foot in area are permitted. Job identification signs are permitted during the time of construction of any residence or other improvement having a maximum face area of six (6) square feet per sign and of the type usually employed by contractors, subcontractors, and tradesmen. For sale and for rent signs for not more than one (1) "for sale" or "for rent" sign having a maximum face area of three (3) square feet, provided that if at the time of any such desired use the Association is providing "for sale" and "for rent" signs for the use of Owners, the sign provided by the Association and no other shall be used.



APPENDIX II

Architectural Review Committee Overview

ARCHITECTURE REVIEW COMMITTEE

ARC Responsibilities

The Architectural Review Committee (“ARC”) has been created to review site work and building plans on behalf of the Powder Mountain Owners Association Inc. (the “Association”) to confirm adherence to the Design Guidelines. In accordance with the CC&R’s (defined below), the Design Guidelines may be modified or amended from time to time by ARC. The members of the ARC, and/or the experts who the Board of Directors of the Association may engage from time to time, either as members of the ARC or as professional consultants to the ARC, will have expertise in site planning and architectural design. Please refer to Article 10 of the CC&R’s of the Association for additional information on the ARC’s responsibilities and procedures.

1. The ARC is responsible for reviewing all development at Powder Mountain.

This includes, but may not be limited to, the following development activities:

- a. Any site work, grading, building construction, or other site modification anywhere within Powder Mountain, including all ski resort, open space, and trail areas.
- b. Any renovation, expansion or refinishing of the exterior of an existing structure.
- c. Any landscape or site modifications to a Lot including areas outside of the development envelope where driveways or low impact issues are permitted, or to any other area within Powder Mountain.
- d. Any changes to the natural landscape, including the clearing of native vegetation and removal of standing trees, anywhere within Powder Mountain.

2. The specific purpose of ARC review is to ensure conformity with the Design Guidelines. The ARC will also assist in explaining and clarifying the Design Guidelines to applicants and their representatives and will communicate information in a constructive way throughout the review process. The ARC’s objective is to encourage good stewardship of the land and sensitive architectural expression consistent with the ethos of the Powder Mountain community.

3. The ARC review process is not in lieu of but is in addition to the Weber or Cache County review process. Any application for a building or site modification permit within Powder Mountain must be reviewed by the ARC to determine that it complies with the Design Guidelines, but any such application must also be approved by Weber or Cache County. ARC approval is necessary prior to commencing any construction within Powder Mountain. ARC approval is also necessary before access to water service is granted to the Owner by the Association. Proof of a water connection is a prerequisite to the acceptance and approval of a building permit application by Weber or Cache County.

ARC REVIEW PROCESS AND SUBMISSION REQUIREMENTS

The ARC review process is mandatory for Homesite Owners within the Powder Mountain community, as detailed in the CC&R’s, and has been designed to encourage dialogue with Homesite Owners, their design team, and other affected parties early in the evolution of their plans so that physical factors and aesthetic qualities of the land can be fully understood and sensitively incorporated into the Owner’s land use concepts. The process is intended to be constructive, not adversarial, or unduly restrictive.

Personal participation by the Owner in the review process, especially in the early stages, will result in significantly improved communication, often allowing for quicker application approval. To be considered complete, an application for ARC review must include all the information requested on the application form in Appendix III and listed at each step outlined below so that the review process will be as effective and efficient as possible. Owners are encouraged to engage the services of a licensed architect familiar with design in the mountain setting for any development activity that involves structures. They also are encouraged to employ a licensed landscape architect for site design, or someone familiar with landscape design in a high alpine climate.

Owners who are starting with an undeveloped Homesite are encouraged to begin their design process with a conceptual master plan for the entire site so that the proper relationships among all proposed and/or contemplated structures and site amenities can be anticipated, and the cumulative site impacts can be evaluated and minimized. A master plan evolves from a thorough understanding of the constraints and design opportunities unique to each Homesite; it is intended to identify where the clustering of structures is desirable, where a separation between them is preferable, and where the access that serves all future facilities can be located to minimize the impact to the landscape. The absence of an effective master plan may affect the Owner's subsequent abilities to add facilities.

The cost of ARC's review, including the services of any of ARC's planning consultants, shall be covered through a fee for service paid by the applicant. Fees are based on the type of project for which ARC approval is sought and must be paid in full before the review process may commence. The amount of the fee required is subject to periodic adjustment by the Association. Please refer to the end of this appendix for a current schedule of application fees.

There are four (4) steps required in the ARC design review process:

- a. Pre-Planning Meeting
- b. Conceptual Design Review
- c. Final Plan Review
- d. Construction Activity Observations and Compliance Monitoring

STEP ONE: PRE-PLANNING MEETING

The ARC review process commences with a working session with ARC's designated planning consultants, the Homesite Owner, and the Owner's architect or design professional. The purpose of this meeting is to agree on basic parameters for development of the Homesite that fully respond to the desires of the Owner, the land use philosophy and operating policies of Powder Mountain, and all applicable land use entitlements and ordinances to which the Homesite is subject. It is vital that the Homesite Owner and the Owner's architect or design professional attend this meeting in order to understand completely the goals of the design review process.

The primary focus of the working session will be an in-depth analysis of the Owner's Homesite, its physical constraints, and the particular visual and environmental sensitivities that must guide its development. ARC will review the Design Guidelines with participants, discuss how they apply to the project at hand, and explain the reasoning that determined the development envelope on the Owner's Homesite.

It is very important that the pre-planning meeting be scheduled after the Owner has selected a design team so that all of those who will be involved in the planning of the site may attend. Also, it is important that the meeting take place before any conceptual plans are drawn for the Owner. However, it is required that the Owner prepare for the meeting by completing a certified site survey, by gathering images that illustrate the style of building contemplated and by making a preliminary list of the facilities and building elements to be constructed on the site.

The outcome of the working session will be a mutual understanding of the site constraints, the design opportunities unique to the site, the potential visual impacts to neighboring Homesites and to the Ogden Valley, the possibility of environmental impacts (including removal of trees and other vegetation), and any other site-specific concerns that may require mitigation. At the discretion of ARC, the requirement for this meeting may be waived for applications that concern minor changes to existing structures or landscape.

Submission Requirements For The Pre-Planning Meeting

1. A certified site survey of the Homesite showing platted property boundaries and, at least within the development and the driveway corridor, topography at two foot (2') contour intervals. The survey must indicate easements, creeks, riparian areas, designated wetlands, mature trees, tree groupings and groves within the area to be developed.
2. This certified site survey should also indicate existing and proposed man-made improvements, including utilities, hydrants, power transformers, water meters and valves, retaining walls, bridge and tunnel structures, abutments, and toe of slopes where roads run adjacent to the sites.

STEP TWO: CONCEPTUAL DESIGN REVIEW

Formal ARC review begins with the Owner's submittal of conceptual site and building plans. Conceptual Design Review is intended to provide more detailed direction and guidance to the Owner and the Owner's design team by the specific identification of any site or development issues and concerns that, in the opinion of ARC, must be resolved. Conceptual drawings typically indicate overall design and site planning directions but are not intended to fully resolve all technical or design issues. They illustrate (1) the siting of conceptual building program elements; (2) the preliminary resolution of building form and massing; (3) the Owner's general thoughts about architectural character, style, and materials; (4) the visual and functional linkages; (5) the view relationships with neighboring sites; (6) grading required for driveway access and the siting of the building; and (7) the general extent of site disturbance.

Scheduling a Conceptual Design Review Meeting with the ARC

Upon request by the applicant, a Conceptual Design Review meeting of the ARC shall be scheduled with three (3) weeks' advance notice. A complete package of conceptual plans must be submitted to the ARC no later than one (1) week prior to the scheduled meeting.

The Owner and/or his/her design representative shall make an informal presentation at the meeting to outline the development program and design goals. Feedback from the ARC will be more substantive if the underlying rationale for the applicant's design decisions is well articulated. The ARC will evaluate the conceptual plans for conformity with the Design Guidelines and the concepts discussed during the pre-planning meeting.

Following the Conceptual Review Meeting, the ARC shall issue a written response to the applicant that records outstanding issues and concerns and summarizes the ARC member's comments. If unresolved issues appear to warrant them the ARC may recommend a follow-up meeting with the applicant before the ARC's written response and before the plans are submitted for final review (step three).

Submission Requirements For The Conceptual Design Review

1. Applicants for conceptual design review shall submit the following:
 - a. A conceptual site/grading plan indicating the proposed boundary of the development envelope, the driveway corridor, and the driveway alignment within it; the location of all planned improvements and structures, including outdoor activity areas and retaining walls; all utility lines and any related utility easements required by service providers; and the ski-in/ski-out locations (which, whenever possible, should follow the alignment of existing disturbed areas, e.g., a sewer lateral alignment). The plan shall also indicate the estimated limits of grading and site disturbance within the development envelope and preliminary finish grades and floor elevations at doorways and paved surfaces. Drainage should be clearly depicted through the indication of swales and proposed drainage structures. Format of presentation materials may be at the discretion of the designer, however, one (1) 11 x 17 copy of the plans is required for ARC records.

The conceptual site/grading plan shall include the proposed removal of vegetation for forest fire suppression purposes. Fire suppression issues should be discussed with the Weber County Fire Marshall prior to Conceptual Design Review. If it is the desire to implement the Fire District's recommendations, the recommendations must be in writing from the District and presented to the ARC at the time of Conceptual Plan Review. Removals of vegetation for fire suppression purposes must be considered as part of the Conceptual Plan Review since such removals may impact the visibility and siting of improvements.

b. Conceptual floor plans, roof plans, sections, and elevations of all structures, including accessory buildings. Building plans and elevations shall be at a minimum scale of 1/8" = 1', or larger, provided the sheet size does not exceed 24" x 36".

c. A preliminary landscape plan illustrating concepts for framing or screening important views to and from the structures. The plan should show all trees and other native vegetation to be removed, new plant massings and describe generally the types and quantities of plants (trees, shrubs, ground covers) to be added to the site.

d. A description of desired exterior finishes, building and paving materials, and colors.

e. A 3D SketchUp or Revit model of the building within the development envelope is required, as an effective means of evaluating conceptual massing and siting of the house.

In addition to all drawings and materials listed above, the applicant shall survey and stake the corners and ridgelines of the proposed structures, the centerline and edges of the proposed driveway, and the limits of site disturbance. Staking shall indicate the actual height of the proposed structures by means of story poles where required by the ARC and the most visual portion of the structure(s) highlighted with an orange marking disc for ease of recognition from off-site. Each stake shall be numbered. A staking plan superimposed on the site plan shall be submitted showing the location and number of each stake.

Conceptual approval shall not be given to the applicant prior to the review of the staking by the ARC. The ARC shall conduct an on-site review of the staking in conjunction with the Conceptual Plan Review and prior to written approval of the Conceptual Plan.

STEP THREE: FINAL PLAN REVIEW

Formal ARC review begins with the Owner's submittal of the final drawings set to be submitted to the County.

Scheduling The Final Plan Review Meeting With The ARC

Final plan review cannot occur prior to receipt of written approval from the ARC of the Conceptual Plan. Upon request by the applicant and with at least three (3) weeks' advance notice, a Final Plan Review meeting of the ARC will be scheduled. A complete package of final documents must be submitted to the ARC no later than one (1) week prior to the scheduled meeting.

It is strongly recommended that the Owner's design team attend the Final Plan Review to present the plans. The ARC will review the construction documents including the final site plans and landscape plans for conformity with the Design Guidelines and determine that all outstanding issues discussed in previous review sessions have been resolved.

Within fourteen (14) days of the meeting, the ARC shall either approve, approve with conditions, or disapprove the final plan, or extend the approval date by issuing a request for further information. The notice of approval shall be in writing and will be sent to the applicant and to the Weber County Community Planning Division. If an application is denied, the applicant may resubmit revised documents at any time. Subsequent review may be subject to the payment of an additional fee.

Submission Requirements for Final Review

1. The final submission package shall respond to issues raised by the ARC in earlier phases of review and shall include the materials listed below:

a. Final site plan at a scale of 1" = 20', indicating layout and dimensions of the development envelope, all building and accessory elements, the driveway, all utilities, and all landscaped areas.

All utility or other easements must be surveyed and clearly indicated on the plan with bearings and distances, which dimensions must correspond to a legal description.

b. Final building floor plans, roof plans, sections, and elevations at a scale of 1/8" = 1'.

c. Final grading and drainage plan.

d. Final landscape plan detailing all plantings by species, size and quantity. Native, low water plant species are required. A Final Landscape Plan (including water source and estimated water usage) shall be submitted by the applicant prior to the 4-Way Building Code Inspection and is subject to the review and approval of the ARC. Submittal of the Final Landscape Plan, and its review by the ARC, is deferred until this point to ensure that the ultimate landscape improvements address and mitigate all areas disturbed in the construction process.

e. Final material samples, specifications, product cut sheets, and color samples for all exterior finishes.

f. Construction details, sections and elevations as needed to illustrate design intent and any accessory elements such as spas and other outdoor facilities.

g. Exterior lighting plan, with cut sheets or details of all fixtures.

h. Details of proposed entry monument, gates, fencing, or screened elements, if any.

i. Development phasing plan, if appropriate.

j. A Construction Mitigation Plan showing limits of disturbance fencing, silt control fencing, construction staging areas, topsoil storage areas, propose construction parking areas, construction entrance detail, tree protection, dust control, etc.

k. An Erosion Control Plan which complies with The Utah Department of Environmental Quality and Weber County requirements. Plan shall include tree protection measures.

l. An updated 3D model is required.

2. In addition to the above, the applicant may be required to provide staking of the site in addition to that required at Conceptual Plan Review if the ARC determines that there have been material changes to the proposed structures since Conceptual Design approval.

STEP FOUR: CONSTRUCTION ACTIVITY OBSERVATIONS AND COMPLIANCE MONITORING

Note: The Construction Administration Fee of Five Thousand Dollars (\$5,000) and Construction Deposit of Twenty Thousand Dollars (\$20,000) must be paid prior to beginning this Step Four. Please see Construction Activities Agreement (attached as Appendix IV to the Design Guidelines) for details.

1. Site Observation with Builder: Prior to any site disturbance, and within seven (7) working days of receipt of written request.
2. Framing Observation: Within seven (7) working days of receipt of written request.
3. Final Observation: Within seven (7) working days of receipt of written request, and prior to any request for a Certificate of Occupancy from the City of Eden.
4. Notice of Completion: Within seven (7) working days of Final Observation.

In addition to the above, the Association may monitor construction sites from time to time for compliance, including with the Design Guidelines.

ARC APPLICATION FEES

Fees may be adjusted at any time at the discretion of the Association*.

1. ARC application fees:
 - Single Family: Six Thousand Five Hundred Dollars (\$6,500)
 - Commercial: TBD
2. Construction Administration Fee: Five Thousand Dollars (\$5,000)
3. Construction Deposit: Twenty Thousand Dollars (\$20,000)

ARC fees are fixed and generally will not be exceeded except in very unusual circumstances where significantly greater amounts of ARC time are consumed by repeated unresponsive submittals and/or construction inconsistent with the Design Guidelines.

Fines may be posed for projects that extend beyond eighteen (18) months from ground breaking to Certificate of Occupancy. Fines are outlined in Exhibit A of the Construction Activities Agreement.

Resubmission of a denied application and Minor amendments or additions to previously approved plans:

One Hundred Fifty Dollars (\$150) per hour per ARC staff or board member

No approval letter will be issued until all applicable fees have been paid in full. ARC approval is valid for twenty-four (24) months after issuance, at which point such approval shall be deemed expired, and an Owner will need to resubmit an application, which resubmittal will be subject to the fees listed herein.

***Please reference the Construction Activities Agreement for additional information regarding fines, fees and deposits.**



APPENDIX III

ARC Submittal Checklist

ARC SUBMITTAL CHECKLIST

RESIDENTIAL APPLICATION FORM

**Powder Mountain
Architectural Review Committee (ARC)**

Homesite Number/Phase _____

Lot Owner _____

Application Date _____

Application Fee _____

Check the appropriate box(es) for this application.

TYPE OF REVIEW	PRE-PLANNING MEETING	CONCEPTUAL DESIGN REVIEW	FINAL PLAN REVIEW
New Single-Family Residence			
New Accessory Structure • Guest House • Barn • Other (Specify)			
Structure Renovation	N/A		
Site / Landscape Modification	N/A		
Miscellaneous (Specify)			

A. General Submittal Information

1. An application will be deemed complete and accepted only after all information requested below and on the Checklist for Plan Evaluation is provided to the Architectural Review Committee (ARC).
2. All plans must conform to the provisions of the Master Declaration of Covenants, Conditions, Easements and Restrictions for Powder Mountain (the "CC&R's") and the Design Guidelines (the "Design Guidelines").
3. The appropriate fee must accompany the application (see Design Guidelines, Appendix II).
4. Please contact an ARC representative with any questions about the application.

As the Owner of the above-referenced Homesite, I hereby authorize this application and I acknowledge that I have read and will comply with all of the provisions contained in the CC&R's and the Guidelines including the Construction Activities Agreement of Powder Mountain (see Design Guidelines, Appendix IV).

Owner's Signature: _____

Printed Name of Signatory: _____

Date: _____

SECTION I: CONTACT INFORMATION

A. Name of Owner(s): _____
Mailing Address: _____
Telephone: (____) _____
Email: _____

B. Name of Applicant: _____
Relationship to Owner(s): _____
Mailing Address: _____
Telephone: (____) _____
Email: _____
Firm: _____

C. Name of Architect: _____
Firm: _____
Mailing Address: _____
Telephone: (____) _____
Email: _____

SECTION II: PROJECT DATA

A. Lot Acreage: _____

B. Development Envelope Acreage: _____

C. Proposed Floor Area: _____ sq. ft.
Primary Unit: _____ sq. ft.
Secondary Unit: _____ sq. ft. (*Not to exceed 2,500 sq. ft.*)
Accessory Unit: _____ sq. ft.
Accessory Unit: _____ sq. ft.
Garages: _____ sq. ft.
Undeveloped: _____ sq. ft.
Total: _____ sq. ft.

D. Number of Bedrooms, all units: _____

E. Number of Covered Parking Spaces: _____
Number of Uncovered Parking Spaces: _____
Total Parking: _____

F. Number of Kitchens: _____
Number of Bathrooms: _____
Number of Fireplaces: (a) Gas: _____
(b) Wood Burning: _____

G. Maximum Slope of Driveway: _____% (First 20 ft. of driveway is _____% slope)
(Last 20 ft. of driveway is _____% slope)

H. Proposed Building Height: _____ ft.
(*Submit drawing of building height calculations drawn over building elevations.*)

I. List of Materials

<i>Building</i>	<i>Type of Material</i>	<i>Specifications, Product Color</i>
Roof (Pitch is _____)	_____	_____
Other Wall Materials	_____	_____
Utility Meters <i>(locate on plans)</i>	_____	_____
Fascia	_____	_____
Soffits	_____	_____
Windows	_____	_____
Window Trim	_____	_____
Exterior Doors	_____	_____
Garage Doors	_____	_____
Door Trim	_____	_____
Hand or Deck Rails	_____	_____
Flues, Caps	_____	_____
Flashings	_____	_____
Chimney Enclosures	_____	_____
Trash Enclosures <i>(locate on plans)</i>	_____	_____
Greenhouses	_____	_____
Exterior Lighting Fixtures <i>(attach cut sheets)</i>	_____	_____
Gutters	_____	_____

SECTION III: STRUCTURE RENOVATIONS

A. Describe structure(s) and proposed renovations:

B. Plan Requirements

1. Submit photographs or previously approved plans.
2. Submit two (2) full-size sets and five (5) 11x17" reduction sets of plans as appropriate.

SECTION IV: SITE / LANDSCAPE MODIFICATION

A. Describe Proposed Site / Landscape Modifications:

B. Plan Requirements

1. Submit photographs or previously approved plans.
2. Submit two (2) full-size sets and five (5) 11x17" reduction sets of plans as appropriate.

SECTION V: MISCELLANEOUS REVIEW

A. Describe review requested:

B. Contact ARC representatives for plan requirements.

SECTION VI: CHECKLIST FOR PLAN EVALUATION

A. Necessary Information On All Drawings

- Homesite number (Lot & Address), date, and scale
- North Arrow

B. Necessary Information On Site Plans

- Existing and proposed contours at two foot (2') intervals
- All property lines
- Proposed limits of the development envelope and the driveway corridor
- Driveway grades
- Existing mature trees to be retained and to be removed
- Wetlands, creeks and drainage, if any
- Existing and proposed utilities, including septic field and utility easement
- Limits of site disturbance
- Footprints of all proposed structures and other site improvements
- Exterior lighting locations
- Calculation of total impervious site coverage
- Proposed finish grades and ground floor elevations
- Building heights above Existing Grade

C. Necessary Information On Building Plans

- Proposed finish floor elevations on each level
- Roof ridge heights above Existing Grade (in section)
- Building dimensions for all structures
- Floor area calculations for the primary structure, guest house, and out-buildings

D. Checklist of Submission Requirements for Pre-Planning Meeting

- Completed applications form
- Fee \$ _____ (see Design Guidelines, Section K-9.4)
- Certified site survey and Developer's site analysis diagram

E. Checklist of Submission Requirements for Conceptual Design Review

- Plan drawings: one (1) set of 24x36" or 30x42" prints and five (5) sets of 11x17" reductions for each of the following
 - a. Conceptual site/grading plan
 - b. Conceptual building floor plans, roof plan, building sections, elevations
 - c. Conceptual landscape plan
 - d. Description of preliminary choices of finishes, materials, and colors
 - e. Massing model

F. Checklist of Submission Requirements for Final Plan Review

- Updated application form
- Compliance deposits
- Plan drawings: one (1) set of 24x36" or 30x42" prints and five (5) sets of 11x17" reductions for each of the following:
 - a. Final site plan
 - b. Final building floor plans, roof plan, building sections, and elevations
 - c. Final grading and drainage plan
 - d. Final landscape plan
 - e. Final material samples, specifications, product cut sheets, and color samples
 - f. Construction details as necessary to illustrate design intent for buildings, site features and accessory elements
 - g. Exterior lighting plan
 - h. Details of proposed entry monument, gates, fencing, or screened elements
 - i. Development phasing plan, if applicable
 - j. Construction mitigation plan
 - k. Erosion Control Plan
 - l. Revised massing model
- Subsequent to final approval, the applicant shall provide three (3) complete sets of plans, one of which shall be 24x36", and one (1) additional site plan.

N. Checklist for Evaluating Site Plan

Visibility & Setbacks

- All site improvements contained within the development envelope
- Minimal visibility of primary structures from a distance
- No intrusion of structures into neighbors' primary view corridors
- 100-foot setback from natural streams

Driveways

- Alignment minimizes cuts and fills and disturbance of natural vegetation
- Safe point of access from road
- Driveway width (maximum 12 ft)
- Driveway gradient

Parking

- Maximum two (2) parking spaces per Garage
- No excessively large paved areas

Grading & Drainage

- Grading blends into natural terrain and reflects natural landforms
- No development on slopes steeper than 40%
- No grading outside the development envelope and the driveway corridor
- No cut and fill slopes steeper than 2:1 (3:1 recommended for fill slopes)
- No cut or fill slopes with vertical exposure greater than 6 ft.
- Cut and fill qualities balance
- Screening berms natural in form
- Minimal disturbance to natural drainages
- Drainage swales integrated into natural landforms
- Drainage resolved on-site; no concentrated drainage onto neighboring properties
- Bridges and culverts indicated where necessary

Retaining Walls

- Walls over four ft. (4') in height certified by a civil or structural engineer
- No walls over eight ft. (8') in height (without terracing)
- Walls attached on building foundations preferred
- Stone or other facing materials compatible with architecture of the house

Utilities & Waste Disposal

- All utility lines underground
- Utilities within the driveway corridor, or alternate alignment to be approved
- Utility easements indicated on site plan
- Transformers and other above-ground utility boxes in screened location
- Satellite dishes screened and non-reflective black
- Trash receptacles screened, enclosed, and animal proof

Planting

- All disturbed areas adequately revegetated with native plants
- Transition from structured to natural landscape well detailed
- No non-native plant species outside the development envelope
- Species appropriate for microclimate conditions
- Planting design compatible with patterns in natural vegetation
- Minimum conifer size six ft. (6'), with 50% over eight ft. (8') in height
- Minimum caliper size of deciduous trees 1 inch, with 50% over 2 inches
- Thinning of vegetation outside the development envelope only with approval
- Removal of existing trees only with approval

- Lawns, short grass areas, and turf should be used as seldom as possible and must be limited in size. The ARC must review plans for lawns, short grass, and turf and their applied locations.

Water

- Water connection approved by Weber or Cache County, as applicable
- Dams well integrated into natural terrain
- Water source for all uses identified and total annual consumption estimated

Exterior Lighting

- Lighting conforms to applicable law, including Weber County Code Part II, Title 108, Chapter 108-16, as may be amended from time to time

Fencing, Signage, & Gates

- Materials to match the architecture of the residence or an approved rail fence design
- No fences along the driveway
- Design for property number/identification signage not exceeding one (1) square foot in area
- Address monuments no larger than two feet (2') in any dimension
- Entry gates set back from road and four feet (4') wider than driveway
- Gates operable in Owners' absence for emergency and snowplowing

H. Checklist for Evaluating Building Design

Architectural Vocabulary

- Building compounds unified by consistent architectural elements and materials
- Building Form, Height, & Massing
- Building siting and massing responsive to natural topography
- Maximum building height is defined by the Design Guidelines
- Structures not visually prominent from adjoining homesteads

Roofs

- No large, unbroken expanses of roof area
- No long, uninterrupted ridgelines
- Non-reflective roof materials
- Colors that blend with those of the natural landscape
- Wooden shingles permitted only if approved by Fire Marshal
- Entries, pedestrian areas and parking areas protected from snow shedding

Walls & Windows

- Wall planes stepped and layered to avoid large, uninterrupted facade
- Detailing of windows and doors to give relief to the facade
- Natural building materials (stone, wood, logs, shingles)
- Stucco use limited; only in combination with other materials
- Colors to blend with those of the natural landscape
- No untreated aluminum or metal window frames; no mirrored glass
- Foundation walls of durable materials, preferable stone or timbers
- Overhead decks well supported; no exposed posts
- Energy Conservation, Fireplaces, Chimneys, & Vents

Energy conservation measures incorporated into building plans

- Number and type of fireplaces indicated on plans
- Fireplaces in compliance with County standards
- Chimneys of inflammable material, preferably stone or masonry
- Non-reflective flues and vents
- Approved spark arresters or screens on chimney outlets
- Vents concealed and protected from damage by snow creep and snow shedding

Fire Protection & Wildlife Management

- Roof materials rated U.L. Class A or approved by PCFSD
- Water service lines to individual residences per PMWSID standards
- Fire sprinkler system required in all structures
- Plans and water mains approved by Fire Marshal: certificate of compliance obtained

SECTION VII: CONSTRUCTION ADMINISTRATION CHECKLIST

- Construction Administration Fee and Construction Deposit shall be paid immediately upon receipt of ARC Application Approval
- Construction parking, staging and material storage areas identified on site plan
- Temporary erosion control measures specified on site plan
- Topsoil storage area identified on site plan
- Trees to be retained and tree protection fencing identified on site plan



APPENDIX IV

Form Construction Activities Agreement

